

STOKE POGES NEIGHBOURHOOD PLAN

2020 – 2042

Submission Plan

PUBLISHED BY

Stoke Poges Parish Council for Submission Consultation
under the Neighbourhood Planning (General) Regulations
2012 (as amended).

MARCH 2024

GUIDE TO READING THIS PLAN

Of necessity, this Neighbourhood Plan is a detailed technical document. The purpose of this page is to explain the structure and help you find your way around the Plan.

1. INTRODUCTION & BACKGROUND

This section explains the background to this Neighbourhood Plan and how you can take part in and respond to the consultation.

2. THE NEIGHBOURHOOD AREA

This section details many of the features of the designated area.

3. PLANNING POLICY CONTEXT

This rather technical section relates this Plan to the National Planning Policy Framework and the planning policies of the local planning authority.

4. COMMUNITY VIEWS ON PLANNING ISSUES

This section explains the community involvement that has taken place.

5. VISION, OBJECTIVES & LAND USE POLICIES

This key section firstly provides a statement on the Neighbourhood Plan Vision and Objectives. It then details Policies which are proposed to address the issues outlined in the Foreword and in Section 4. These Policies are listed in Table 1. There are also Policy Maps at the back of the Plan.

6. IMPLEMENTATION

This section explains how the Plan will be implemented and future development guided and managed. It suggests projects which might be supported by the Community Infrastructure Levy which the Parish Council will have some influence over. Finally, it deals with a number of issues which although relevant are outside the scope of a Neighbourhood Plan.

GLOSSARY

AFFORDABLE HOUSING

Housing for sale or rent, for those whose needs are not met by the market (including housing that provides a subsidised route to home ownership and/or is for essential local workers). Annex 2 of the National Planning Policy Framework defines the different types of Affordable Homes ([Link](#)).

AMENITY

A positive element or elements that contribute to the overall character or enjoyment of an area. For example, open land, trees, historic buildings and the inter-relationship between them, or less tangible factors such as tranquillity.

AREA OF SPECIAL CHARACTER

Important areas that fail to meet the criteria for designating conservation areas. Used to identify areas based upon their architectural or townscape merits, including locally important landscapes and archaeology.

BIODIVERSITY

Biodiversity is the term used to describe the whole variety of life on Earth. It includes not only all species of plants and animals, but also the complex ecosystems they live within. It ranges from species and habitats which are considered commonplace to those considered critically endangered.

BUCKINGHAMSHIRE COUNCIL (BC)

The planning authority for this Neighbourhood Plan.

COMMUNITY INFRASTRUCTURE LEVY (CIL)

A levy allowing local authorities to raise funds from owners or developers of land undertaking new building projects in their area.

CONSERVATION AREAS

Areas designated by the Local Planning Authority under the Planning (Listed Buildings and Conservation Areas) Act 1990 Section 69 as being of special architectural or historic interest, the character of which it is desirable to preserve and enhance.

DENSITY

In the case of residential development, a measurement of either the number of habitable rooms per hectare or the number of dwellings per hectare.

DESIGNATED HERITAGE ASSETS

Parts of the historic environment which have been designated because of their historic, archaeological, architectural or artistic interest.

DEVELOPMENT

Development is defined under the 1990 Town and Country Planning Act as 'the carrying out of building, engineering, mining or other operation in, on, over or

under land, or the making of any material change in the use of any building or other land'.

DEVELOPMENT PLAN DOCUMENT

This is currently the South Bucks District Local Plan, the South Bucks District Core Strategy and the Buckinghamshire Minerals and Waste Local Plan. Once 'Made' (adopted) the Stoke Poges Neighbourhood plan will become part of the development plan for the Stoke Poges Parish area. The South Bucks documents will be replaced by the Buckinghamshire Local Plan in due course.

EVIDENCE BASE

The information and data gathered by local authorities to inform and support the policy approaches to be set out in Local Development Documents, including physical, economic, and social characteristics of an area. This Neighbourhood Plan has its own evidence base which is published alongside the plan ([Link](#)).

GREEN BELT

A designation for land around certain cities and large built-up areas, which aims to keep the land permanently open or largely undeveloped. The purpose of the green belt is to check the unrestricted sprawl of large, built-up areas, prevent neighbouring towns from merging, safeguard the countryside from encroachment, preserve the setting and special character of historic towns and assist urban regeneration by encouraging the recycling of derelict and other urban land.

GREEN AND BLUE INFRASTRUCTURE

A strategically planned and delivered network of high-quality green spaces and other environmental features. It should be designed and managed as a multifunctional resource capable of delivering a wide range of environmental and quality of life benefits for local communities. Green and blue infrastructure includes parks, open spaces, playing fields, woodlands, allotments, private gardens, rivers, streams, other water bodies and land of biodiversity value.

HABITATS REGULATIONS ASSESSMENT

A Habitats Regulations Assessment (HRA) tests the impact of a proposal on nature conservation sites of European importance and is a requirement for land use plans and projects. This Neighbourhood Plan does not need to prepare an HRA, because the designated Neighbourhood Area does not include, or is in close proximity to, any Natura 2000 sites.

LANDSCAPE CHARACTER

The distinct and recognisable pattern of elements that occur consistently in a particular type of landscape. It reflects particular combinations of geology, landform, soils, vegetation, land use and human settlement.

LISTED BUILDING

A building of special architectural or historic interest. Listed buildings are graded I, II* or II. Listing includes the interior as well as the exterior of the building, and any buildings or permanent structures (e.g. wells within its curtilage). Historic England is responsible for designating buildings for listing in England.

LOCAL GREEN SPACES

Local Green Space designation is for use in Local Plans or Neighbourhood Plans. These plans can identify on a map ('designate') green areas for special protection against development providing they meet certain tests set out in national policy. (See paragraphs 105-107 of the NPPF: <https://www.gov.uk/guidance/national-planning-policy-framework/8-promoting-healthy-and-safe-communities>).

LOCAL PLAN

A plan setting out development policies for the local planning authority area. For the Stoke Poges Parish the former South Bucks District Council Local Plan and Core Strategy documents contain strategic planning policies for the area until replaced by the Buckinghamshire Council Local Plan.

NATIONAL PLANNING POLICY FRAMEWORK (NPPF)

Issued by central government setting out its planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that it is relevant, proportionate and necessary to do so. It provides a framework within which local people and their accountable councils can produce their own distinctive local and neighbourhood plans, which reflect the needs and priorities of their communities.

NEIGHBOURHOOD PLAN

A plan prepared by a Parish Council under the provisions of the Localism Act 2011 and of the Neighbourhood Planning (General) Regulations 2012 (as amended).

NON-DESIGNATED HERITAGE ASSETS

Buildings, monuments, sites, places, areas or landscapes identified as having a degree of significance meriting consideration in planning decisions because of their heritage interest but which do not meet the criteria for designated heritage assets (as defined in Annex 2 of the NPPF).

PASSIVHAUS

A leading international design standard, slashing energy use from buildings and delivering high standards of comfort and health ([Link](#)).

STOKE POGES PARISH COUNCIL (SPPC)

The Qualifying Body producing this Neighbourhood Plan.

PRE-SUBMISSION PLAN

A first draft of the Neighbourhood Plan, prepared for the first formal consultation in June 2023 guided by Regulation 14 of the Neighbourhood Planning (General) Regulations 2012 (as amended).

QUALIFYING BODY

A parish council (or in a non-parished area a designated neighbourhood forum) proposing a Neighbourhood Plan.

STRATEGIC ENVIRONMENTAL ASSESSMENT (SEA)

A system of incorporating environmental considerations into policies, plans and programmes. This Neighbourhood Plan does not have the potential for significant environmental effects and therefore no strategic environmental assessment is necessary. A

document will be provided at the Submission stage of the Neighbourhood Plan process, called a Basic Conditions Statement, which will set out how the Neighbourhood Plan contributes to achieving sustainable development.

STRATEGIC WORKING GROUP

A group made up of Stoke Poges Parish Councillors and other residents set up to investigate the issues covered by the proposed Neighbourhood Plan and advise the Parish Council accordingly.

SUBMISSION PLAN

This document is the Submission Plan, a final draft of the Neighbourhood Plan, prepared for submission guided by Regulation 15 of the Neighbourhood Planning (General) Regulations 2012 (as amended).

SUPPLEMENTARY PLANNING DOCUMENTS (SPD)

A Supplementary Planning Document is a Local Development Document that may cover a range of issues, thematic or site specific, and provides further detail of policies and proposals in a 'parent' Development Plan Document.

FOREWORD

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FOREWORD

Stoke Poges is a village and civil parish located in the south of Buckinghamshire, nestled within the Metropolitan Green Belt 23 miles (37km) from the centre of London. Its origins are mentioned in the Domesday Book in 1086.

In addition to its landscape setting, it is renowned for the architectural qualities of its historic buildings and several Conservation Areas. It has a network of footpaths that link the village to the surrounding countryside and neighbouring villages. This Neighbourhood Plan looks at the importance of existing footpaths in more detail in order to encourage use of them as well as opening them up to make them more accessible.

Public transport is limited with a reduced bus service. The nearest train stations are Slough and Gerrards Cross - both are not within easy walking distance and therefore commuters rely heavily on using cars or taxis.

The village also benefits from a Church, a Chapel that has a community hall and small coffee shop, four pubs, a combined first and middle school, a Village Centre/Hall, a Social Club, two recreational areas, allotments, a pavilion used for football and uniformed groups, a hotel and a golf course. The village has a small retail area that provides a Post Office, chemist, coffee shop and a small convenience store.

Stoke Poges can be described as a vibrant village with many clubs and societies that meet regularly, as well as hosting an annual fete, flower show and Christmas event that bring the village together, giving an opportunity to meet friends and neighbours.

Physically and socially, Stoke Poges is a fine example of a village where its identity is very important in defining it from surrounding urbanisations and the threat of Slough's northern expansion. Its social infrastructure is as important as the physical qualities of the settlement and its setting in defining its autonomy. This balance has been maintained by a process of slow incremental growth, and a succession of residents who give up their time to look after the village and keep social activities flourishing.

Like many other villages, Stoke Poges is now exposed to external influences for change and uncertainty arising from its desirable setting and proximity to London, with pressure to deliver more housing that is commercially beneficial to developers. Most developments tend to be executive large houses rather than smaller stock housing. There is a trend for modest three bedroom houses to be extended so that they are becoming 4-6 bedroom houses, further influencing the balance of housing stock. Designs used are often not in keeping or do not harmonise with the street scene, adding an urbanising feel with the addition of large brick walls and gates accompanied by a loss of trees, planting and soft boundary hedging. This Plan seeks to address some of these issues.

The village accepts the need for some small-scale growth and this Plan acknowledges the need for smaller homes for residents to either start out or to downsize in order to ensure a balanced demographic feeding into its vibrancy. However, it is important that any new development does not adversely affect the environment or erode the distinctive character

of the village. This Neighbourhood Plan sets out guidelines for the continued preservation of Stoke Poges and small developments that will protect its integrity.

The Parish Council would like to thank the Neighbourhood Plan Steering Group for their hard work, time, commitment and continual valuable insight in understanding the needs of our village and its desire to ensure that Stoke Poges is a better place to live.

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1. INTRODUCTION & BACKGROUND

1.1. Stoke Poges Parish Council is preparing a Neighbourhood Plan for the area designated by the local planning authority, Buckinghamshire Council (BC), on 23 December 2020. The area coincides with the parish boundary (see Plan A on page 4). The Plan is being prepared in accordance with the Neighbourhood Planning (General) Regulations of 2012 (as amended).

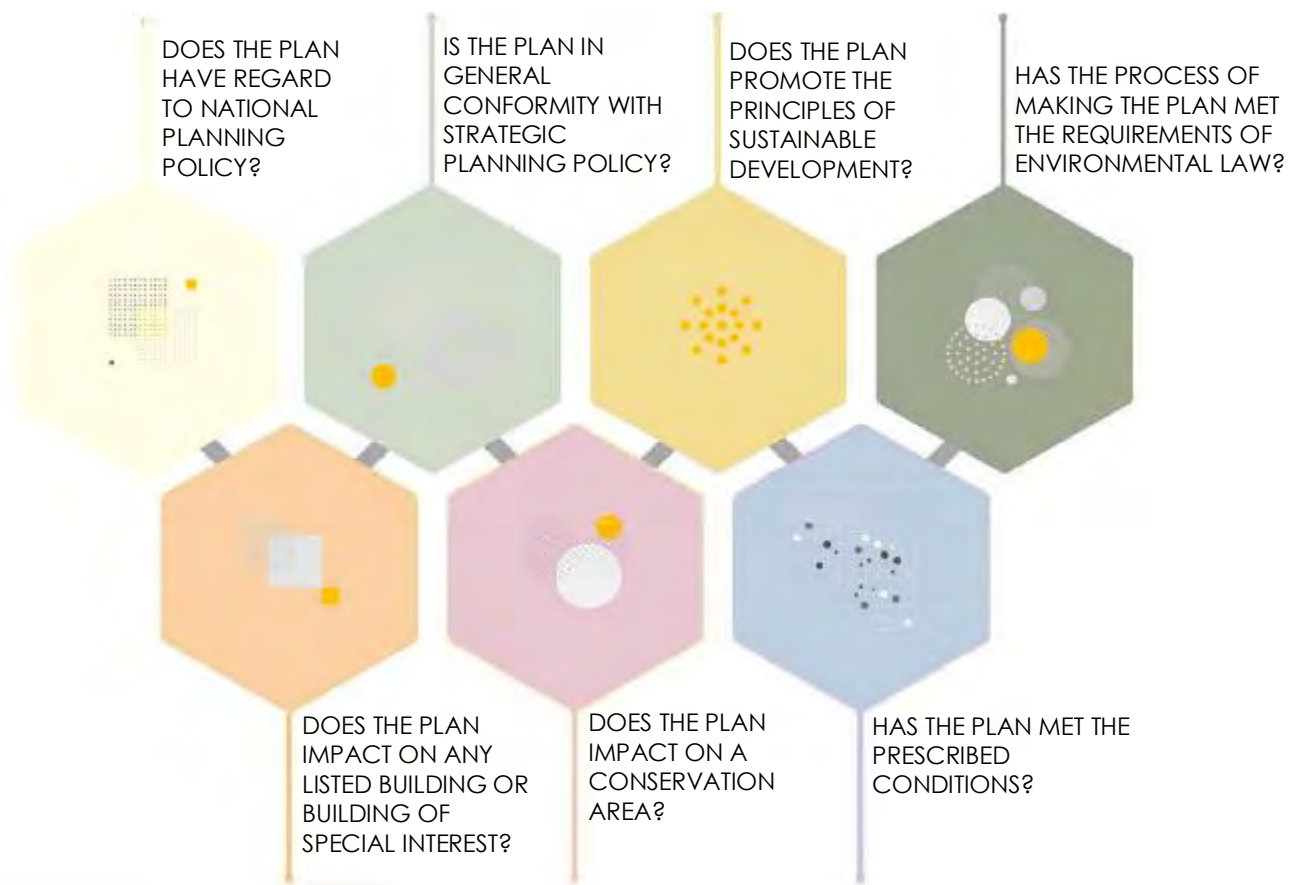
1.2. The purpose of the Neighbourhood Plan is to set out a series of planning policies that will be used to determine planning applications in the area in the period to March 2042. The Plan will form part of the Development Plan for the parish, alongside policies of the adopted South Bucks Local Plan 1999 and the adopted South Bucks Core Strategy 2011. The Local Plan and Core Strategy policies will eventually be replaced by the first Bucks Local Plan, which will also run to 2042.

1.3. Neighbourhood Plans provide local communities with the chance to manage the quality of development of their areas. Once approved at a referendum, the Plan becomes part of the Council's statutory Development Plan and will carry significant weight in how planning applications are decided in the neighbourhood area. Plans must therefore contain only land use planning policies that can be used for this purpose. This often means that there are important issues of interest to the local community that cannot be addressed in a Plan if they are not directly related to planning. Although there is scope for the local community to decide on its planning policies, Neighbourhood Plans must meet all of the relevant basic conditions (see Figure 1 overleaf).

1.4. In addition, the Parish Council will need to demonstrate to an independent examiner that it has successfully engaged with the local community and stakeholders in preparing the Plan. If the examiner is satisfied that it has, and considers the Plan meets the above conditions, then the Plan will go to a referendum of the local electorate. If a simple majority (over 50%) of the turnout votes in favour of the Plan, then it becomes adopted as formal planning policy for the neighbourhood area.

THE SUBMISSION PLAN

1.5. A draft ('Pre-Submission') Plan was published for consultation in September 2023 in line with the Regulations. The Parish Council has reviewed the comments received from the local community and other interested parties, including Buckinghamshire Council, and have made changes to this final version.



1 Neighbourhood Plan Basic Conditions

STRATEGIC ENVIRONMENTAL ASSESSMENT & THE HABITATS REGULATIONS

1.6. A Strategic Environmental Assessment (SEA) assesses the environmental implications of a proposed policy or Plan. It allows for the cumulative effects of development and policies to be assessed and addresses any identified issues at an early stage. A Screening Statement was published by BC in September 2022 which confirmed that a SEA would be required for the Neighbourhood Plan as per the Environmental Assessment of Plans & Programmes Regulations 2004 (as amended) due to the inclusion of site-specific Design Codes. The SEA report is published alongside this Plan.

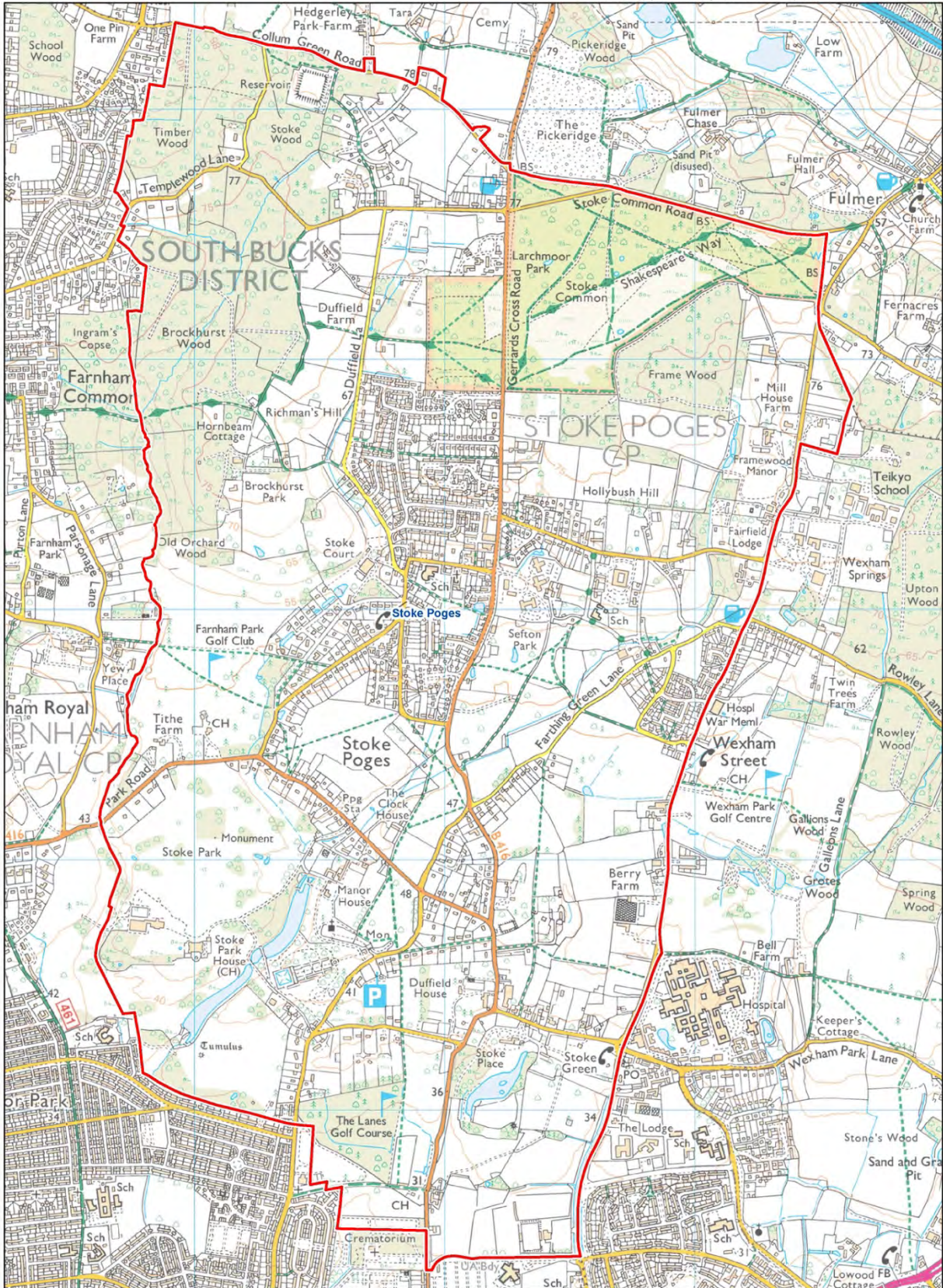
1.7. The Screening Statement also confirmed that there would be no anticipated likely significant effects from the intentions of the Neighbourhood Plan on the National Site Network (formerly Natura 2000 sites) and so no habitats regulations assessment would be required as per the Conservation of Habitats and Species Regulations 2017 (as amended).

THE NEXT STEPS

1.8. This Plan will be submitted to Buckinghamshire Council for a further consultation and to arrange for its examination by an independent examiner and subsequent referendum, if the examiner is satisfied that the draft plan meets the basic conditions.

Stoke Poges Proposed Neighbourhood Area

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Plan A: Designated Neighbourhood Area

2. THE NEIGHBOURHOOD AREA

2.1 Stoke Poges parish extends from the built-up area boundary of Slough in the south to Stoke Common Road in the north. The west parish boundary is defined by a watercourse which meets Chalvey ditch and Jubilee River.

2.2 The main village settlement in the parish is Stoke Poges, which is located approximately 1.2 miles (2km) north of Slough. There are four hamlets within the parish: Hollybush Hill, Stoke Green, West End and Wexham Street.

2.3 Stoke Poges parish has a population of 4,936, where 19.1% are aged 0-15, 59.9% are aged 16 – 64 and 21% are aged 65+. There is a total of 1,921 dwellings in Stoke Poges, most of which are owner occupied and the average house price is £778,583 (Stoke Poges Local Insight profile, March 2021).

2.4 Stoke Poges developed from a small surviving historic core at Rogers Lane. Most of the development in Stoke Poges has been in estate form and occurred in the 1950s-60s. During this period a high proportion of Local Authority housing was developed. Since 1970, Freemans Close and smaller closes at Ash Grove, Neville Close and Willow Park were developed.

2.5 All of the parish lies within the Metropolitan Green Belt, with the main part of the village inset; the other built-up areas of the lower part of West End Lane, Park Road (B416), Church Lane, Grays Park Road and Templewood Lane, as well as Wexham Street are 'washed over' by the Green Belt.

2.6 Lying on the B416 road between Slough (2.5 miles (4km) to its south) and Gerrards Cross (2.5 miles (4km) to its north) and close to its larger neighbour Farnham Common 1.5 miles (2.4km) to the west, the main village is reasonably well connected, mainly by private car, to a number of larger centres of population. Its smaller neighbour Wexham Street lies on a parallel, north-south road 0.5 miles (0.8km) to its east.

2.7 Some day-to-day convenience shopping is provided for in the village (the Co-op on Bells Hill) but the community is able to access a wider range of higher order retailers in Uxbridge (4.5 miles (7.2km) to the east), High Wycombe (9 miles (14.5km) to the north west), Windsor, Farnham Common, and Slough.

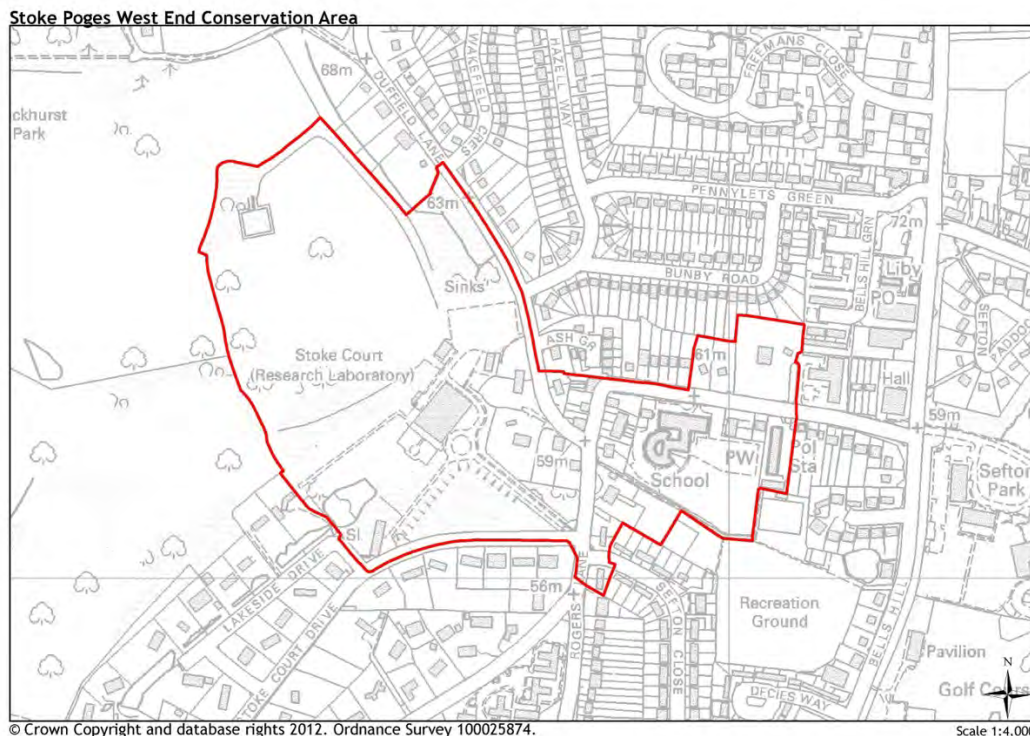
2.8 There is a Primary School serving the village; its catchment area currently relies on attracting children from a wider area. There are two pre-school nurseries that operate as not for profit that feed into the primary school: Sunshine Corner Pre School and Rainbow Pre School. Pioneer Secondary Academy on Hollybush Hill is a small, Sikh based faith school serving a wider area for school age children from 11 – 19, with approx. 420 pupils on roll and a capacity for 980 pupils. The nearest secondary school in the catchment is Chalfont Community College in Chalfont St Peter. Stoke Poges also has access to the Grammar School system through Beaconsfield High for girls, Burnham Grammar co ed, Dr Challoner's

on application and John Hampden for boys on application. There are secondary schools and other nursery schools in Slough in catchment.

2.9 A number of community facilities are located around the centre of the village, near the junction of Rogers Lane and Bells Hill. These include St Andrew's, belonging to Stoke Poges Church, and the Village Hall/Centre which is home to many clubs and organisations as well as the Stoke Poges Parish Council Office. A GP practice operates at Threeways Surgery.

2.10 There are ancient woodlands and the Stoke Common Site of Special Scientific Interest (SSSI) to the north of the built-up areas. Stoke Common is a particularly important asset to Stoke Poges due to the rare and scarce flora and fauna within it. Much of the parish lies within a Biodiversity Opportunity Area and within the Burnham Beeches Special Area of Conservation (SAC) 3.5 mile (5.6km) Zone of Influence. Stoke Place, Stoke Park and Stoke Poges Garden of Remembrance Historic Parks are located in the south of the parish.

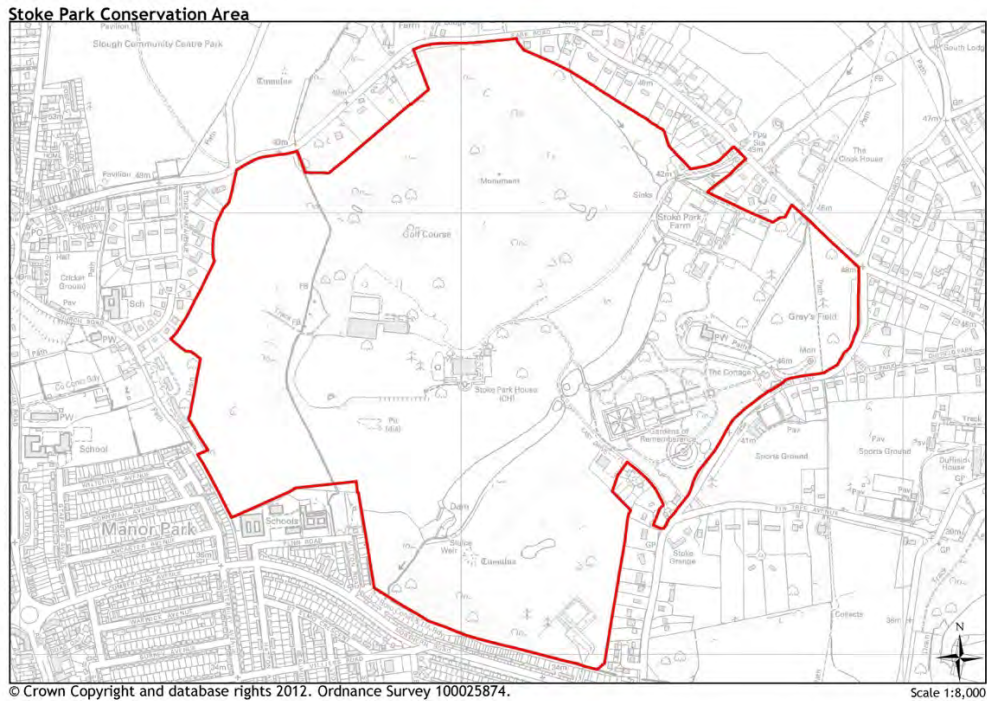
2.11 Stoke Poges parish coincides with four designated Conservation Areas (CAs): Stoke Poges West End CA (see Plan B), Stoke Park CA (see Plan C), Stoke Green CA (see Plan D), and Framewood Road CA (see Plan E): Stoke Poges West End CA and Framewood Road CA were designated in 2011 and Stoke Park CA and Stoke Green CA were designated in 1987.



Plan B Stoke Poges West End Conservation Area

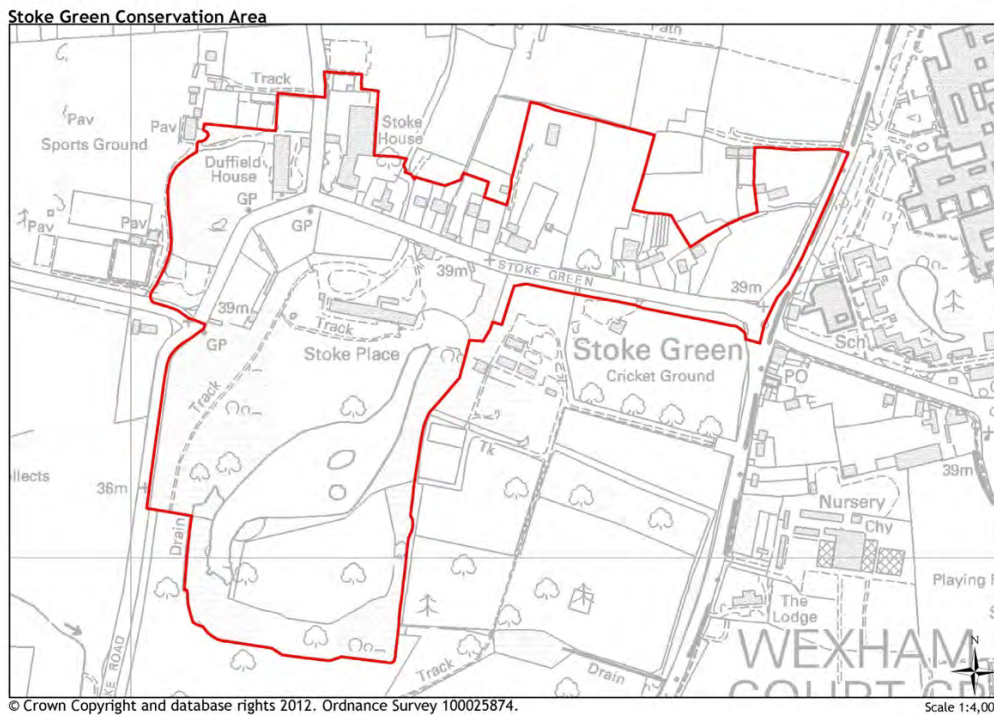
A) Stoke Poges West End CA is located in the village centre and includes Stoke Court to the west of the village. The area retains the character of the historic village before

the suburban growth in Stoke Poges and is associated with notable people, such as the poet Thomas Gray.



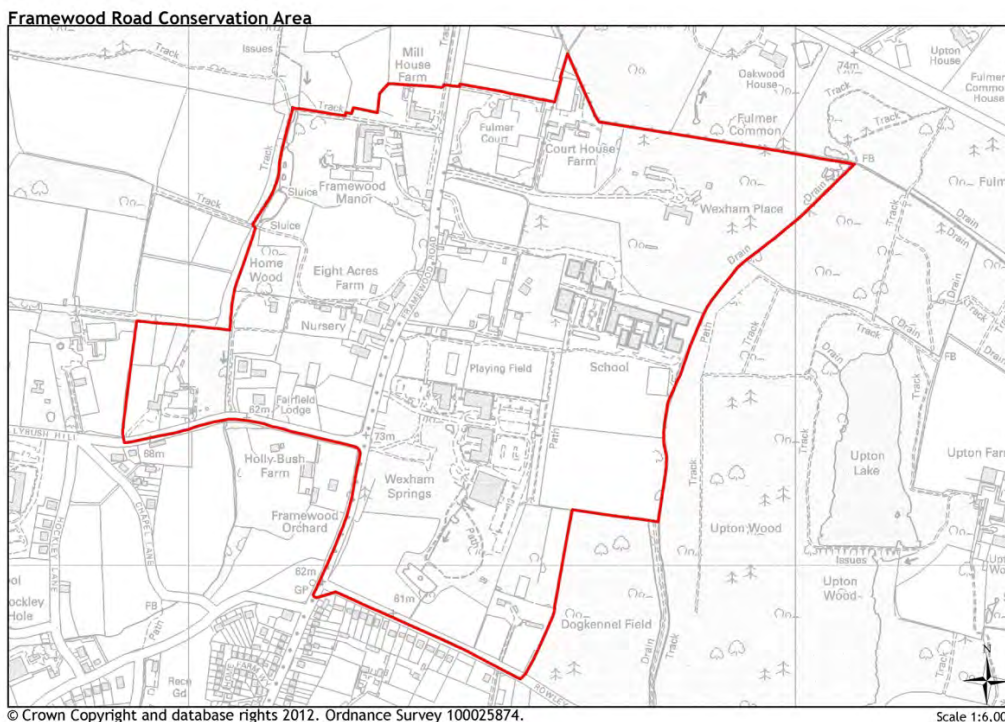
Plan C Stoke Park Conservation Area

- B) Stoke Park CA consists of the historic Stoke Poges Golf Club, partially located in the southwest corner of the parish, and contains three Grade I Listed Buildings.



Plan D Stoke Green Conservation Area

C) Stoke Green CA is in the southeast corner, where several Grade II Listed Buildings are situated.

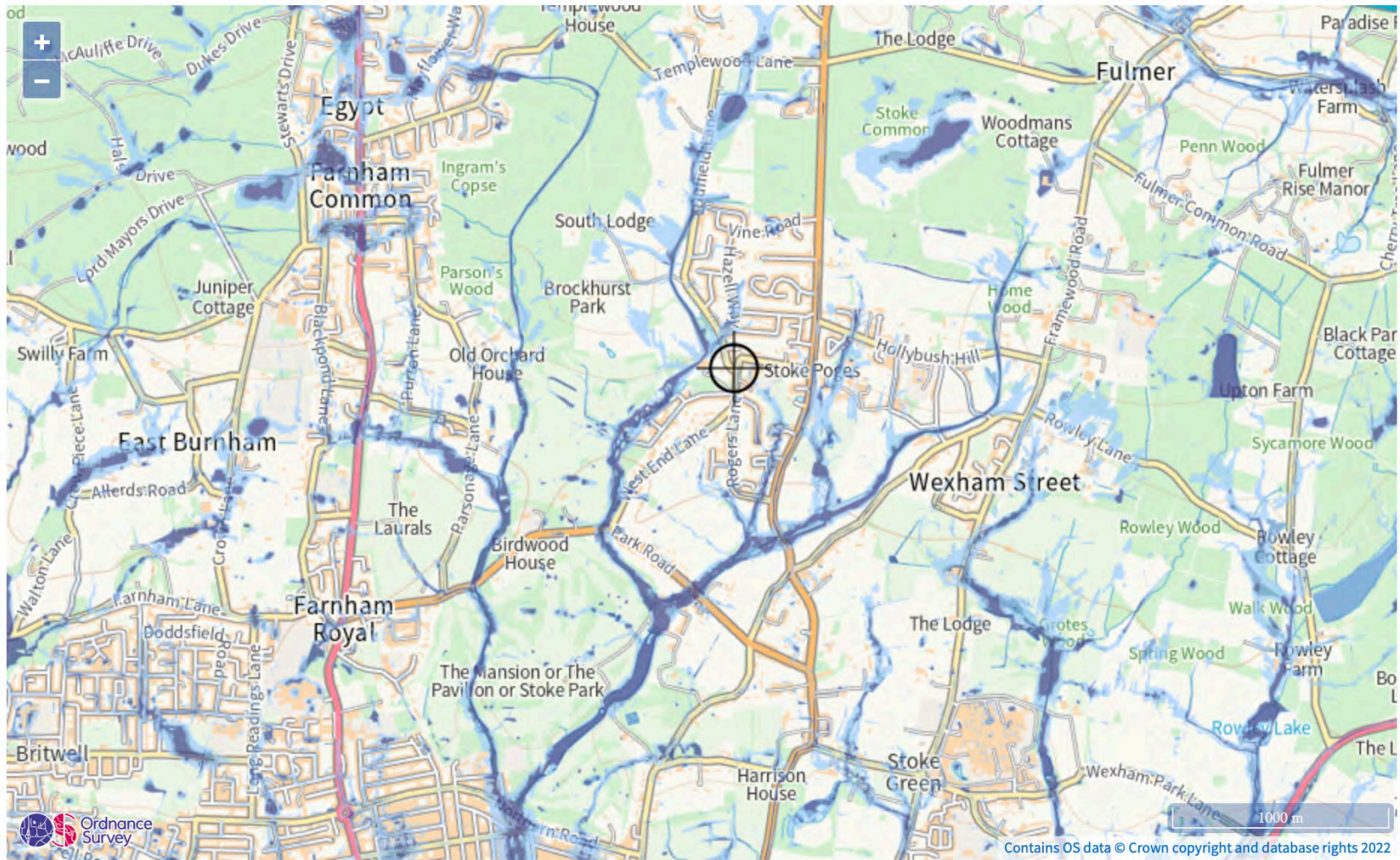


Plan E Framewood Road Conservation Area

D) Framewood Road CA is partially located in the northeast of the parish. Framewood Road CA is designated for the character of the houses and the area.

2.12 There are 46 Listed Buildings in the parish: 3 Grade I Listed Buildings, 3 Grade II* Listed Buildings and 40 Grade II Listed Buildings.

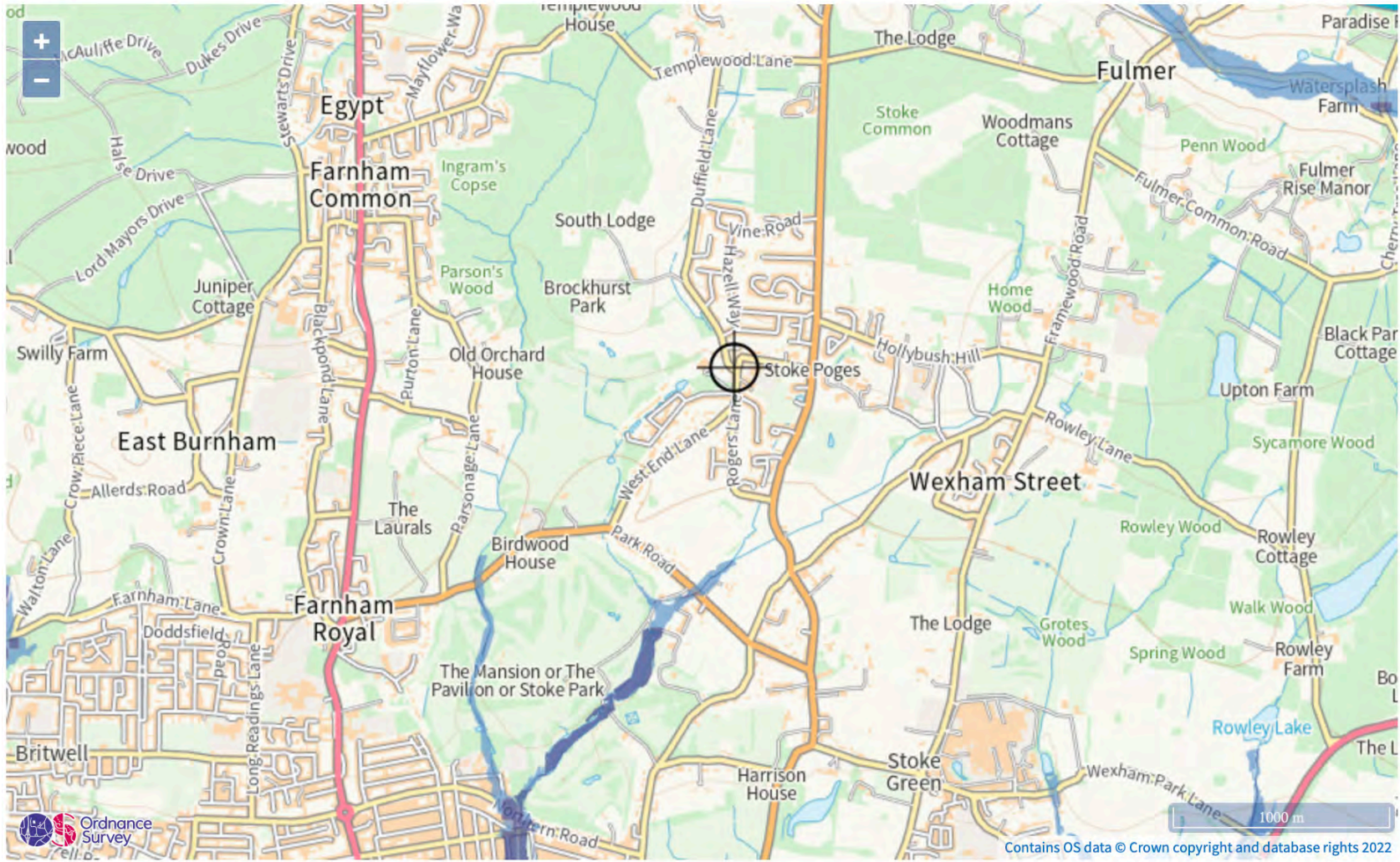
2.13 The majority of flood risk in the parish is from surface water (see Plan F) although there is some fluvial flood risk in the south of the parish at Stoke Park (see Plan G). There is also a risk of flooding from reservoirs when river levels are normal (see Plan H).



Extent of flooding from surface water

- High
- Medium
- Low
- Very low
- Location you selected

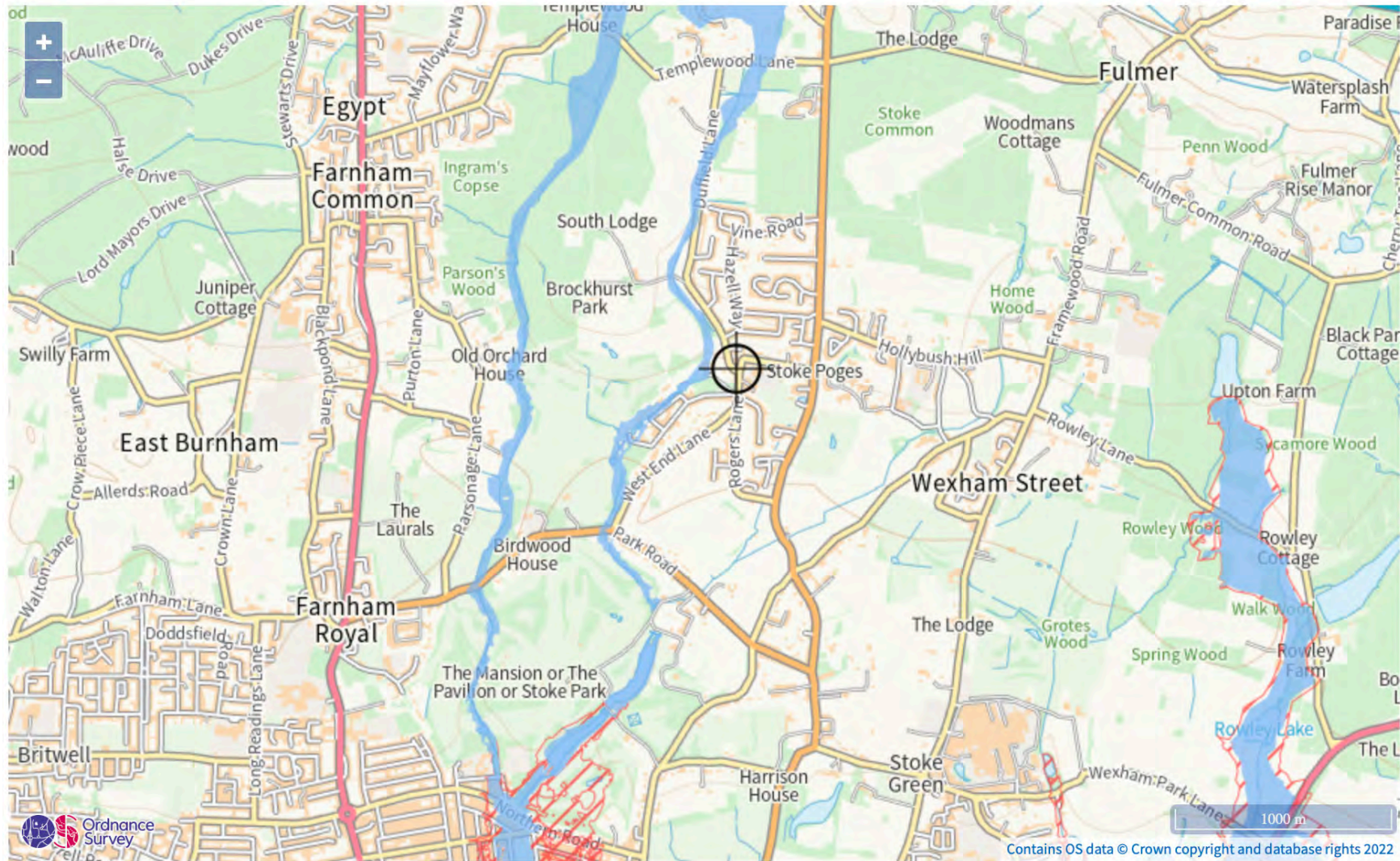
Plan F Surface Water Flood Risk



Extent of flooding from rivers or the sea

- [High](#)
- [Medium](#)
- [Low](#)
- [Very low](#)
- Location you selected

Plan G Fluvial Flood Risk



Maximum extent of flooding from reservoirs:

- when river levels are normal
- ▨ when there is also flooding from rivers
- ⊕ Location you selected

Plan H Reservoir Flood Risk

3. PLANNING POLICY CONTEXT

3.1 The parish lies within the county of Buckinghamshire. Buckinghamshire Council (BC) is the local planning authority for the area.

NATIONAL PLANNING POLICY

3.2 The National Planning Policy Framework (NPPF) published by the Government is an important guide in the preparation of Local Plans and Neighbourhood Plans. The following paragraphs of the NPPF are considered especially relevant:

- Neighbourhood Planning (§28 - §30)
- Promoting healthy and safe communities (§96 - §97)
- Open space and recreation (§102 - §103)
- Local Green Spaces (§104 – §107)
- High quality design (§135)
- Protecting Green Belt land (§142)
- Conserving and enhancing the natural environment (§180 - §182)
- Conserving and enhancing the historic environment (§195 - §209)

3.3 The Government has also set out a requirement for the provision of First Homes in a Written Ministerial statement on 24 May 2021. These requirements were subsequently incorporated into National Planning Practice Guidance. As the parish outside of the built-up area is 'washed over' by Green Belt, First Homes Exception Sites are unable to come forward in the parish. However, this does not preclude First Homes forming part of the affordable housing contributions through Rural Exception Sites allowed for by the NPPF. It is anticipated that the forthcoming Local Plan will deal with this matter appropriately and Buckinghamshire Council has published an Interim Position Statement regarding First Homes in the meantime ([link](#)).

3.4 The Levelling Up and Regeneration Act (LURA) received Royal Assent on 26 October 2023. The Act demonstrates a continued support of Neighbourhood Planning, including the introduction of new 'Neighbourhood Priorities Statements' (NPS).

STRATEGIC PLANNING POLICY

3.5 The Neighbourhood Plan must be in general conformity with the strategic policies of the Development Plan, which primarily comprises the saved policies of the *South Bucks District Local Plan* adopted in March 1999 and the *South Bucks Core Strategy* adopted February 2011. All of these policies predate the NPPF, but most are considered to be consistent with it and so until they are replaced, either by this Neighbourhood Plan or by the *new Bucks Local Plan* (BLP), they will continue to operate in determining planning applications.

3.6 The Core Strategy defines Stoke Poges as a 'secondary settlement' and Wexham Street is classed as a 'rural settlement'. The parish currently lies entirely within the Green Belt, but the settlement of Stoke Poges is 'inset' from the Green Belt. Wexham Street is 'washed over' by the Green Belt but is designated as a settlement for infill development (controlled by saved Local Plan Policy GB3). The other built-up areas of the lower part of West End Lane, Park Road (B416), Church Lane, Grays Park Road and Templewood Lane are also 'washed over' by the Green Belt but are not covered by that policy.

3.7 There are also a number of development management policies that cover a wide range of matters affecting the parish, including its Listed Buildings, Conservation Areas, Historic Park, SSSIs and Ancient Woodland (see Plan I). This includes the provisions of Core Policy 6 on the requirements of new development. To that end water utility companies have confirmed that for development in Stoke Poges Parish, developers are encouraged to contact the water/waste water company as early as possible to discuss their development proposals and intended delivery programme to assist with identifying any potential water and wastewater network reinforcement requirements. As the area is defined as water stressed, it should also be noted that BC use planning conditions with regards to water efficiency and consumption for new residential development to secure a maximum water use of 105 litres per head per day using the 'Fittings Approach' in Table 2.2 of Part G of the Building Regulations.

3.8 A submitted Chiltern & South Bucks Local Plan was withdrawn from examination in 2021 and will not be resubmitted. It contained proposals to inset Wexham Street from the Greenbelt but made no site allocation proposals in the parish. It did identify Sefton Park – a large business park on the eastern edge of the village in the Green Belt – as a strategic employment site for retention. It would have replaced the saved Local Plan and Core Strategy Policies; however, its withdrawal means that its evidence and reasoning are not relevant in informing the Neighbourhood Plan.

3.9 BC has begun the process of bringing forward its first Local Plan for the county of Buckinghamshire. It proposes to adopt the new Plan in 2027 and has so far carried out a Vision and Objectives consultation as well as a call for sites. It is therefore at too early a stage to inform the Neighbourhood Plan; however some updated evidence has been published.

South Bucks District Development Plan Proposals Map

Key To Proposals Map

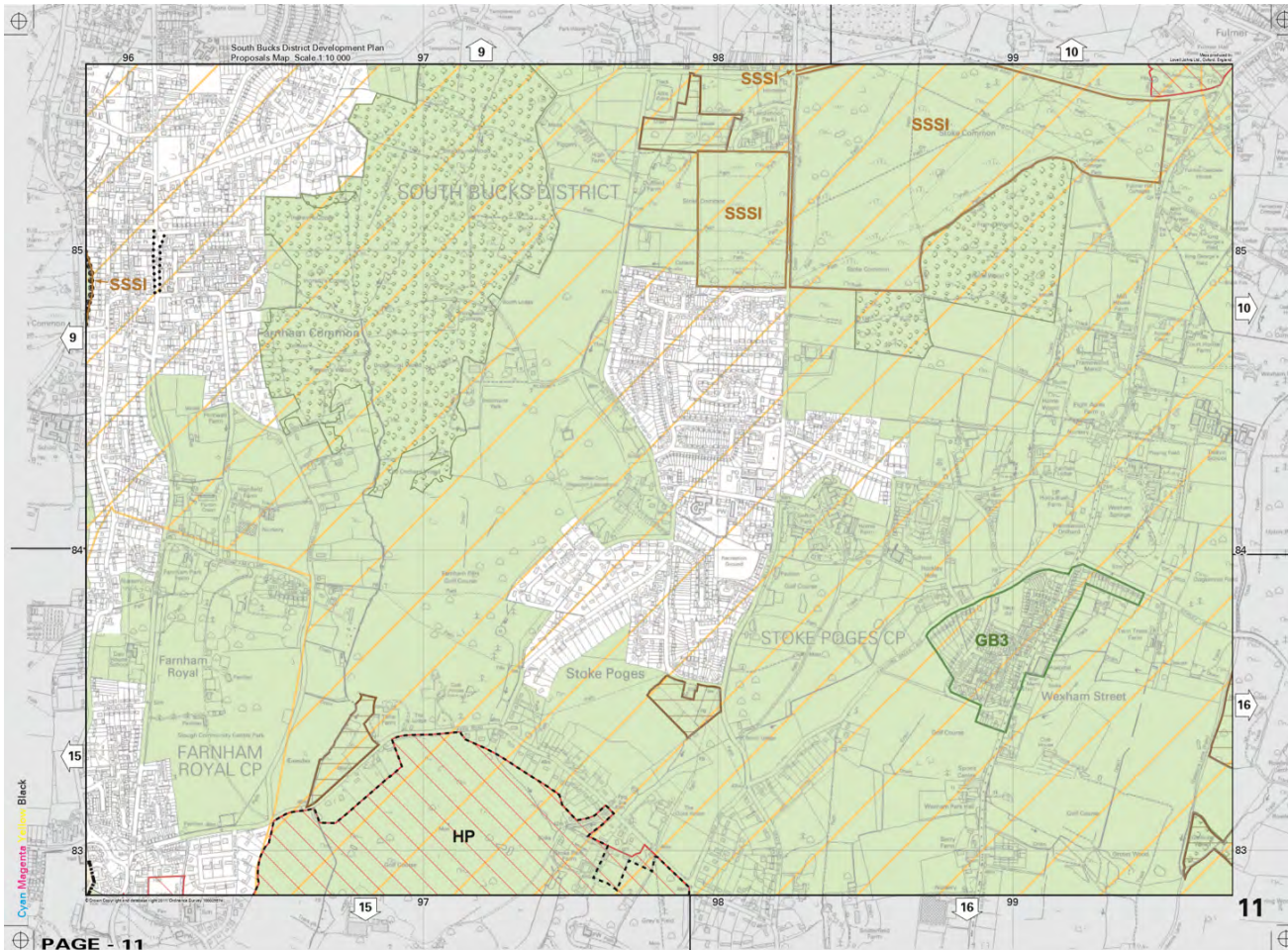
Boundary of South Bucks District

Saved South Bucks Local Plan Policies

- Green Belt**
GB1, GB2, GB4, GB7, GB9-GB11, GB13, R9, R10, T2
- Green Belt Settlement**
GB3, GB5, GB13
- Conservation Area**
C1
- Local Geological Site**
C15 (Formerly Regionally Important Geological Site)
- Housing Allocation**
H2
- Housing Allocation**
H2 - development completed as at 31st March 2010
- Residential Area of Exceptional Character**
H10
- Local Shopping Centre**
S2
- Pinewood Studios**
E2
- West Drayton to Poyle Railway Line**
TR12
- River Thames Setting**
L4

Core Strategy Policies

- Opportunity Site (MDS Boundary)**
CP14, CP15, CP16
- Area of Outstanding Natural Beauty**
CP9
- National Nature Reserve Burnham Beeches SAC**
CP9
- Local Wildlife Site**
CP9
- Biodiversity Opportunity Area**
CP9
- Ancient Woodland**
CP9
- Scheduled Ancient Monument**
CP9
- Site of Special Scientific Interest**
CP9
- Historic Park or Garden**
CP8
- Colne Valley Park**
CP9
- Local Nature Reserve**
CP9



Plan I Consolidated Local Plan and Core Strategy Policies Map

3.10 The *Buckinghamshire Minerals and Waste Local Plan 2016-2036* also forms part of the development plan and applies in the neighbourhood area. The majority of the parish lies within a Minerals Safeguarding Area for sand and gravel (Policy 1) (see Plan J). Their normal effect is to sterilise land from development prior to extraction unless it is clear that the development site will not prejudice the economic extraction of the mineral. The PC invited BC to provide comments on the economic viability of extraction at the proposed sites in policies SP1,2,3. BC provided the following response:

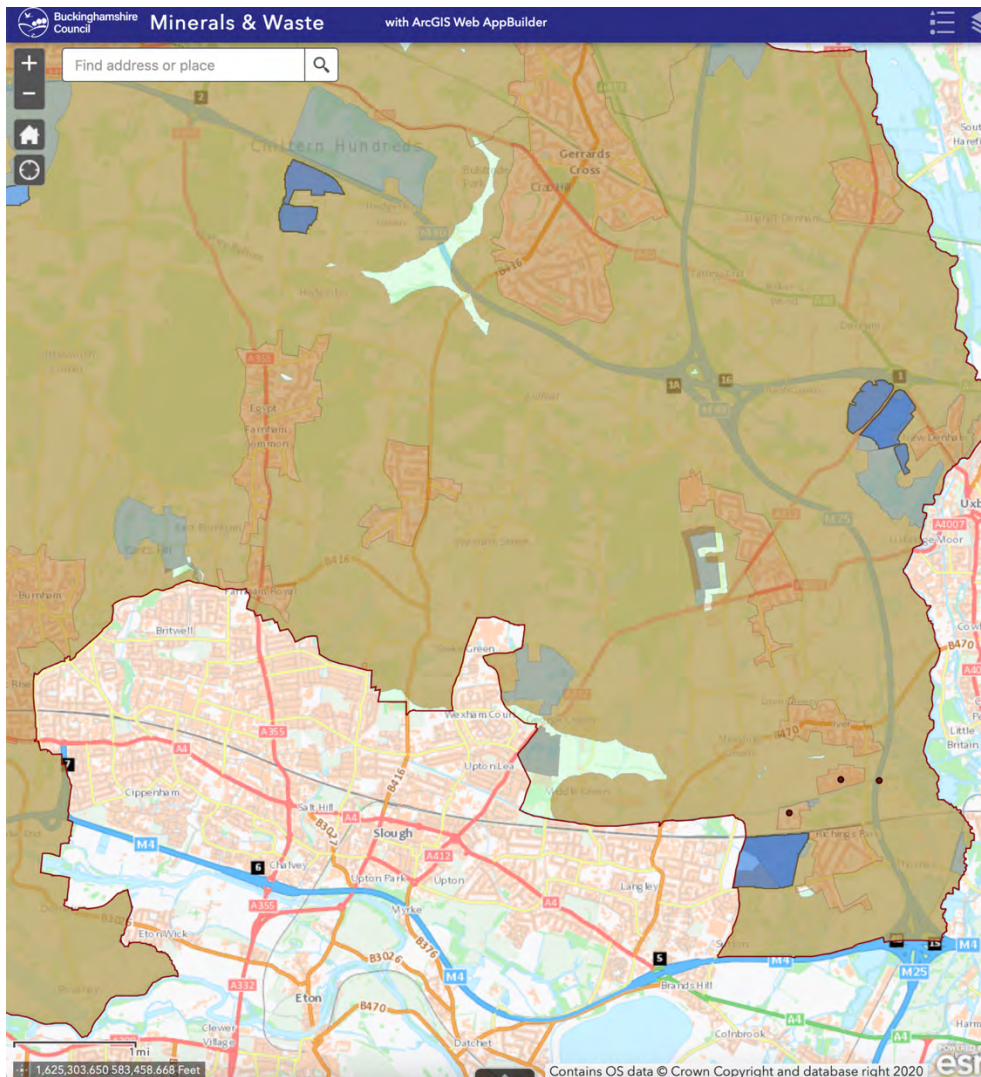
There is a national requirement to prevent mineral resource, of national and local importance, from being sterilised by other forms of development. Development within the Mineral Safeguarding Area needs to demonstrate that prior extraction is possible; the development is of a form or nature that would not hinder future extraction; there is an over-riding need for the development; or that the resource is not viable.

The Minerals and Waste Local Plan set out development that is exempt for Policy 1 Safeguarding Mineral Resources.

The below sites within the Stoke Poges Neighbourhood Plan would meet one of these exemptions and therefore not be expected to undertake a minerals assessment.

1. Rogers Lane
2. Thames House
3. West End Court
4. Deans Close
5. Bells Hill Green
6. Neville Close

Depending on which option is proposed for Sefton Park this site may also be exempt. If the conversion and no additional land take is preferred then development would meet the exemption criteria.

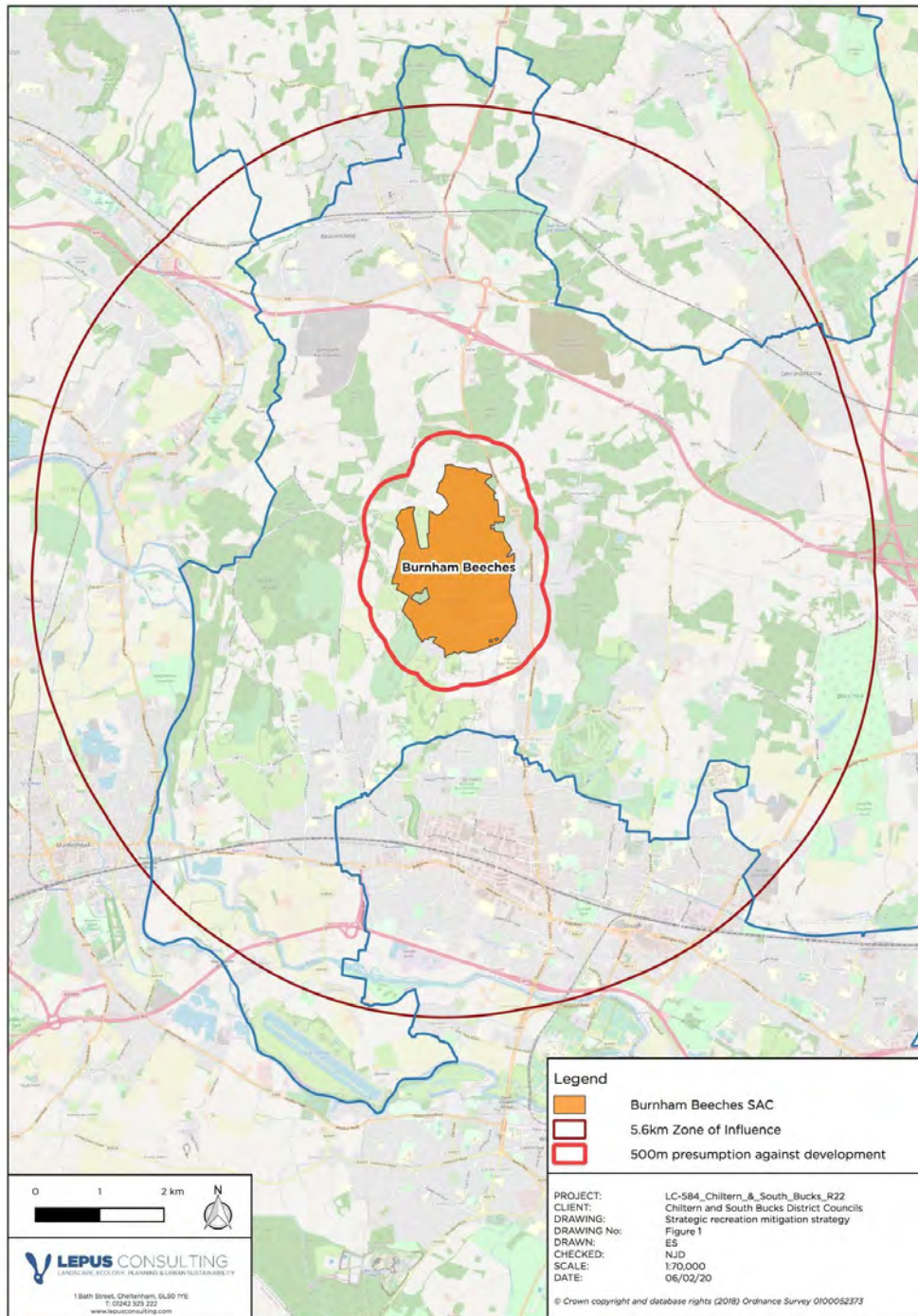


Plan J Extract of Minerals and Waste Local Plan Policies Map

3.11 BC has also adopted a number of Supplementary Planning Documents (SPDs) which are material considerations when planning applications are determined. The most relevant to the designated neighbourhood area include:

- South Bucks Affordable Housing SPD adopted July 2013
- Burnham Beeches SAC Strategic Access Management and Monitoring Strategy SPD adopted November 2020
- Biodiversity Net Gain SPD adopted July 2022

3.12 The Burnham Beeches SAC SPD introduces zones of influence around the Burnham Beeches SAC as part of its Mitigation Strategy. The Mitigation Strategy seeks to address the requirement to avoid or mitigate adverse impacts on the integrity of Burnham Beeches SAC largely considered is due to recreational pressures. A 500m presumption against development zone and a 3.5 mile (5.6km) zone of influence (see Plan K) is operational. There is a presumption against development within the zone of 500m of the linear boundary of the SAC and financial contributions are sought from all net new residential development within the 500 metres – 3.5 mile (5.6km) zone of influence.



Plan K: Extract from Burnham Beeches SAC SPD - Zones of Influence

NEIGHBOURHOOD PLANNING POLICY

3.13 The Denham Neighbourhood Plan to the northeast, and the Ivers Neighbourhood Plan to the east are the only made Neighbourhood Plans in close proximity to the parish. Hedgerley and Fulmer parishes to the north of Stoke Poges are in the early stages of Plan preparation. The adjoining parish of Farnham Royal, west of Stoke Poges, is also in the process of preparing a Neighbourhood Plan. There are Green Infrastructure functionality and connectivity matters which will work across parish boundaries.

3.14 The Proposed Spatial Strategy for Slough consultation ended in January 2021. The Strategy proposes that nearly all of the Borough's growth will take place in the centre of Slough, however it notes that there may need to be some release of Green Belt sites on the edge of Slough to meet housing needs. The Council published its 'Proposed Release of Green Belt Land for Family Housing' consultation document in November 2021. It identifies two sites – Wexham Park Hospital School of Nursing Site, Wexham Street (off Opecks Close) & North of Muddy Lane, Stoke Poges Lane – that adjoins the parish boundary for between 43 – 77 homes, but notes that these sites may not become available and suitable for development for many years.

3.15 The document notes that the ideas for the northern expansion of Slough, extending as far north as Wexham Street but remains outside the parish boundary, remain an option. However, the Strategy recognises that it is one option of many that are currently being assessed and its conclusions will be published in a Draft Local Plan. Its publication timetable is yet to be agreed.

3.16 The Strategy also reverts back to restraining development in order to protect the Green Belt, Colne Valley Park and Strategic Gap between Slough and Greater London in the absence of any policy support or any demonstrable need for the expansion of Heathrow airport. The Strategy does not address or recognise the proposed changes to calculating housing need which may have an impact on the number of homes needed to be accommodated in Slough and Buckinghamshire.

4. COMMUNITY VIEWS ON PLANNING ISSUES

4.1 With the withdrawal of Joint Chiltern and South Bucks Local Plan in 2021, we believe it is even more important to deliver a Plan that is sensitive to Stoke Poges' demographic and location within the Metropolitan Green Belt. It is therefore vital that any new development opportunities identified within the existing built form of the village provide the much needed smaller stock housing needed for first time buyers, smaller families as well as down sizers. The areas identified are within the vicinity of local amenities - shops, a doctors' surgery, nurseries and schools are all within walking distance, therefore mitigating the need for reliance on cars or public transport. Any development identified on the Wexham Street side of the village which is located in an area identified as a Greenbelt Settlement allows for limited infilling, and we believe that this will respect the essential open nature and character of this part of the village, complementing the existing smaller stock housing that already exists.

4.2 With the increase in home working, the need for office buildings may decline. Sefton Business Park, which is located within the Metropolitan Green Belt, sits geographically between Stoke Poges village centre and Wexham Street. Development within the existing footprint could address the desire to locate smaller dwellings near to essential amenities at the heart of the village on Bells Hill. Rethinking this site could mean that connectivity between this area and Wexham Street could be improved using proposed footpaths, again negating the need for reliance of cars or public transport. Any proposed developments will need to respect the openness of this Green Belt site as well as the existing Grade 2 listed house.

4.3 Responding to feedback from villagers and looking at forecasts of projected demographics there is a need to contribute towards a mixed and balanced community to help satisfy the increased demand for smaller, lower cost dwellings and generally to improve choice. Over two thirds of the existing housing stock in the parish consists of detached properties with 3 or more bedrooms, and is amongst the most expensive to buy in the country.

4.4 The number of elderly households is projected to increase considerably. The provision of small stock housing would give the elderly an opportunity, if they wish, to vacate their larger dwellings, yet remain within their community. This would result in opportunity for younger and one/ two person households to find suitable accommodation in the area. This is key for the continuing development of vibrancy in our community and overall sustainability of our facilities yet retain close friendships by remaining within their community.

4.5 Looking at the need to develop smaller stock housing it is important consider The Climate Change Act 2008. Stoke Poges would like to respond to climate change by respecting that emissions of carbon dioxide and other greenhouse gases are reduced. This policy requires developers to ensure they address the Government's climate change

targets. The policy also acknowledges that there may need to be a trade-off between its objectives and local design policy, as long as it respects the character of the local area.

4.6 Understanding the desire for homeowners to extend and modify existing housing stock, it is important that it is sympathetic and harmonises with the existing street scene, respecting its surroundings. There is a trend in the built areas to extend dwellings so that they are out of balance not only visually but also by size. This further adds to the loss of moderate size housing that attracts families, as they are priced out of the market. We see loss of trees and hedgerows in favour of walls, gates and hardstanding which are urbanising features that detract from a semi rural village, its housing stock and aesthetic.

4.7 Stoke Poges is rich in heritage. It has a number of listed buildings and green spaces. Along with these listed assets we have identified a number of local non-designated heritage assets (NDHAs). Although they are not statutorily listed, they do have some local heritage value either from a design or historical or point of view, adding a positive look and feel to the village. Although listed as an NDHA, this does not mean that any future development cannot take place but importantly identifies their uniqueness and the positivity they add to our heritage and street scene.

4.8 Looking at the location of our village in relation to surrounding villages and its significant and valued green spaces, we identified the importance of creating a network of connectivity with the amenities in Farnham Common, including its library. Connectivity via an ancient woodland, Brockhurst Woods, could be improved by a vision of a shared woodland area approach. This vision will not only improve connectivity but will alleviate pressures on nearby Burnham Beeches and also financially support our neighbouring village's amenities.

4.9 There is an existing network of footpaths in use, but some have fallen into disrepair. We have identified these as a Local Area Network, and opening these paths is important in encouraging walking and cycling as a means of healthy and safe active travel opportunities in the parish.

4.10 Identified within the built form of the village are green spaces that add amenity value within the street scene. Although they are not located within the Green Belt they have been identified as adding great value and importance and therefore should be afforded the same protection.

4.11 Stoke Poges is impacted by bright light from both Slough and Wexham Park Hospital. There is minimal street lighting in the village with just 10 LED street lights which are all directional and capped to reduce light pollution, in order to protect and encourage nocturnal wildlife regularly spotted such as foxes, badgers, owls, hedgehogs, deer, muntjacs and bats. There is a desire to preserve the calming characteristics and other benefits we enjoy from the semi-rural nature of our village, and keep this distinct from nearby urbanisations. We wish to ensure that Stoke Poges is a good place to live.

VISION

“Well-designed infill development within the development constraints of Stoke Poges and Wexham Street has helped to address a local need for smaller ‘zero carbon ready’ homes whilst maintaining the openness and permanence of the Green Belt. The quality of life for both present and future generations has been improved by protecting and improving our facilities and the environment.”

OBJECTIVES



INTRODUCTION TO THE LAND USE POLICIES

5.1 The following policies relate to the development and use of land in the designated Neighbourhood Area of Stoke Poges parish. They focus on specific planning matters that are of greatest interest to the local community.

5.2 There are many parts of the parish that are not affected by these policies, and there are many other policy matters that have been left to the adopted South Buckinghamshire and forthcoming Buckinghamshire Local Plan to cover. This has avoided unnecessary repetition of policies between this Neighbourhood Plan and adopted planning policies, though they have a mutual, helpful inter-dependence.

5.3 Each policy is numbered and titled, and it is shown in bold italics. Where necessary, the area to which it will apply is shown on the Policies Map attached to the document. After each policy is some supporting text that explains the purpose of the policy, how it will be applied and, where helpful, how it relates to other Development Plan policies.

SITE ASSESSMENT PROCESS

5.4 An exploration of the potential to deliver new homes suited to downsizers and first-time buyers, given the very limited access to such homes in the parish, was undertaken by the Steering Group. Only sites that met a set of qualifying criteria have been identified. The qualifying criteria are:

- The site lies within the inset boundary at Stoke Poges (excluding community facilities and public open space); or
- The site is small (>0.5 Ha gross site area) to potentially enable a case for 'limited infilling' (NPPF §154(e) and South Bucks Local Plan Policy GB3 at Wexham Street excluding community facilities and public open space).

5.5 The remainder of the designated neighbourhood area towards Slough, Farnham Common and Iver Heath is considered too remote to justify development in accordance with the NPPF. The result of this initial analysis is the identification of six sites and all six sites have been assessed for their potential for development in the attached Appendix A – Site-specific Design Codes and the Draft SEA published alongside this Plan. Feedback from local residents communicated a need for greater provision of smaller, lower cost dwellings to rebalance the housing stock of the area.

5.6 The NPPF also allows for a number of exceptions to Green Belt restrictions which include the re-use of previously developed land to meet an identified affordable housing need subject to certain criteria (NPPF §154(g)). The Steering Group therefore also identified previously developed land which had been made available in response to the emerging Buckinghamshire Local Plan Call for Sites focussing on the main village settlement of Stoke Poges as an accessible location. The analysis led to one additional site being identified which has been assessed for its development potential and informed by the Draft SEA published alongside this Plan.

POLICY SP1: DESIGN CODE – STOKE POGES SITES

A. Development proposals on the sites listed below, as shown on the Policies Maps, will be supported where proposals demonstrate compliance with their specific Design Code, attached as Appendix A.

1. Rogers Lane

2. Thames House

3. West End Court

5. Bells Hill Green

6. Neville Close

POLICY SP2: DESIGN CODE – WEXHAM STREET SITE

A. Infill development at Deans Close, as shown as site 4 on the Policies Maps, will be supported provided a scheme demonstrates compliance with the Deans Close Site Specific Design Code, attached as Appendix A.

4. Deans Close

5.7 All of the sites at Policy SP1 fall within the inset boundary of Stoke Poges and therefore located within the developed area where new residential development is considered acceptable, as per the adopted South Bucks Core Strategy Policy 1 on Housing Provision and Delivery, subject to other material planning considerations. The site at Policy SP2 fall within the 'GB3 settlement boundary' of Wexham Street. Policy GB3 of the adopted South Bucks Local Plan makes provision for 'limited infilling' to come forward within GB3 settlements. It is therefore considered that the site at Policy SP2 is located within an area where new residential development, as 'limited infill', is considered acceptable subject to other material planning considerations. The Neighbourhood Plan project has been used to assess the future potential of all of these sites, as shown in the attached Appendix A. The

assessment has been informed by the accompanying Draft SEA and Stoke Poges Housing Needs Assessment published alongside the Plan. The policy proposes a number of key development principles for each site to contribute to delivering the Stoke Poges Neighbourhood Plan vision and objectives.

5.8 The approach is broadly in line with the spirit and intention of the adopted South Bucks Core Strategy Policy 17 on Other Development Sites which seeks Development Briefs to be prepared for significant sites prior to the submission of a planning applications. It is also considered to be broadly in line with the emerging Local Plan's 'brownfield first' approach. The Site-specific Design Codes set out in the attached Appendix A are extensive and therefore published separately to the Neighbourhood Plan. To be clear therefore, as the Site-specific Design Codes have been prepared and consulted on as part of the Plan, their content carries the full weight of the Development Plan in decision making and is not subordinate or supplementary guidance carrying lesser weight.

5.9 Applicants will therefore be expected to have acknowledged, understood and responded positively to the Site-specific Design Codes as relevant to the location, scale and nature of their proposals. Where a proposal does not seek to follow the requirements of the Site-specific Design Codes then the applicant will be obliged to justify why an exception should be made.

POLICY SP3: SEFTON PARK

- A. The Neighbourhood Plan identifies land at Sefton Park as Policy Area A, comprising previously developed land in the Green Belt, and as Policy Area B and C, comprising land in the Green Belt, as shown on the Policies Map.
- B. In the short to mid-term, the site's continued use as offices is supported.
- C. In the medium to long term, proposals for conversion of the existing buildings and/or the redevelopment of Policy Area A for a mix of uses will be supported provided they are appropriate for a Green Belt location as defined in national policy and:
- i. The redevelopment proposals either relate to all of the Policy Area A land that operates as Sefton Park to be delivered in phases or comprehensively, or it can be demonstrated that they will not prejudice or undermine the comprehensive planning of the Policy Area A land and the Policy Area B and C land as a whole;
 - ii. The proposals have regard to the Development Framework attached as Appendix B and other relevant Development Plan provisions to seek to deliver the key objectives set out in Clause D of this policy, subject to viability and deliverability; and
 - iii. Proposals can demonstrate that either there will be an increase in jobs and/or the quality of jobs, or the employment use is no longer viable.
- D. Sefton Park key objectives:
- i. The retention of the existing offices in the short to mid-term;
 - ii. To deliver a mix of uses to support the function of the local centre in phases in a coordinated manner or comprehensively, subject to market demand and deliverability;
 - iii. To seek to create an active frontage to Bells Hill to integrate Sefton Park with the local centre;

- iv. For any housing proposals to seek to meet the housing needs of Stoke Poges; and**
- v. For a comprehensive redevelopment to seek to improve east-west pedestrian and cycle connectivity between Bells Hill and School Lane, subject to feasibility and deliverability.**

5.10 The site currently operates as a high-quality employment site for a number of international and national firms. South Bucks Local Plan Policies GB2 and GB4 seeks to avoid the loss of employment generating activities in buildings in the Green Belt. South Bucks Core Policy 10 also seeks to avoid the loss of employment uses on important employment sites but stops short of identifying these. It is likely that the importance of the employment use on this site will be researched as part of the emerging Buckinghamshire Local Plan. The most up to date evidence appraising the employment value of the site is that of the previous South Bucks District Council Employment Site Appraisals, April 2013 by GL Hearn, which regarded the site as the most prestigious and highest quality employment site in South Bucks providing approximately 200 jobs at that time.

5.11 Certain employment uses currently enjoy the advantages of permitted development rights to change their use to residential use without the need for planning permission. In those cases the Development Plan and its policies are not involved in decision-making. No Article 4 Direction (which removes permitted development rights) is in place to revoke these rights on this site.

5.12 The future of the previously developed land remaining in employment use over the plan period at this stage is therefore unclear and uncertain. The policy is therefore intended to guide the future development of a prominent brownfield site in the Green Belt adjacent to the centre of the village should proposals come forward. In doing so, it provides an up-to-date policy framework to encourage the efficient use of previously developed land on a site that is physically well-related to the existing village of Stoke Poges with the potential to support, and enhance, local services whilst also safeguarding employment uses important for the local and wider economy.

5.13 The policy is intended to operate alongside the provisions of strategic and national policies on the Green Belt. It may also be possible to design proposals that are not inappropriate development (as per the exceptions to Green Belt policy in NPPF paragraph 154). In any event, the Parish Council considers that the public benefit evidenced by the local community interest in improving connectivity, the local centre, a sense of place and the provision of new homes as highly desirable and should accrue significant weight in the planning balance.

5.14 There is an opportunity for the development of a wider comprehensive scheme to achieve the full benefit of the key principles set out in the Development Framework, in Appendix B, on all three Policy Areas. The policy therefore recognises that any

redevelopment proposals should not prejudice this, should proposals come forward in the future. Finally, the policy provides flexibility for types of employment uses which operate at a higher employment density.

POLICY SP4: HOUSING MIX AND TENURE

A. Proposals for residential development will be expected to contribute to the objective of creating a mixed and balanced community. To achieve this objective, new residential development should seek to include in their housing mix a majority (>50%) of 1-bedroom and 2-bedroom dwellings; a tenure suitable for those looking to rent or own their first home, downsizers, and specialist housing for older people. The starting point for the existing level of affordable housing provisions sought on qualifying developments should be 50% affordable homes for rent and 50% affordable homes for sale.

5.15 The aim of this policy is to contribute towards a mixed and balanced community to help satisfy the increased demand for smaller, lower cost dwellings and generally to improve choice. Over two thirds of the existing housing stock in the parish consists predominantly of three or more detached bedroomed properties and is amongst the most expensive to buy in the country. The number of elderly households is projected to increase considerably over the same period.

5.16 The provision of a stock of small housing units would give the elderly an opportunity, if they wish, to vacate their larger dwellings, yet remain resident in the village and provide an opportunity for younger and/or key worker, one and two person households to find suitable accommodation in the area. This is key for the continuing development of vibrancy in our communities and overall sustainability of the services and facilities in the parish. Better utilisation of the existing housing stock is unlikely to occur unless smaller units are available either by the construction of new small dwellings or by the conversion of existing properties.

5.17 In addition, a greater number of smaller units can be delivered on a given site than larger units. The provision of a higher proportion of small dwellings (i.e. greater than 50% of the total of schemes of five or more dwellings) will ensure an efficient use of scarce land in the built-up areas of the villages, or where Rural Exception sites may come forward. The Stoke Poges Housing Needs Assessment (HNA) included in the evidence base demonstrates that there is no specialist housing for old people in the parish (on market or affordable tenures) and that there is a need now, and in the future, for such units, alongside a need to focus on the provision of denser and smaller dwellings.

5.18 The tenure split of 50/50, recommended by the Stoke Poges HNA, refines the Affordable Housing SPD tenure split of two thirds social or affordable rent. This indicative mix is chiefly a response to the expectation that the delivery of Affordable Housing will be lower than the needs identified here. In this context, the HNA recognises that 'First Homes' (an affordable homes for sale product discounted in perpetuity by a minimum of 30%) is not affordable in the neighbourhood area, even at a 50% minimum discount. The Neighbourhood Plan therefore supports other affordable home ownership routes. For the avoidance of doubt the policy does not change the overall level of affordable housing provision sought on qualifying developments set out in the Affordable Housing SPD (at least 40% on sites of 5 or more dwellings).

POLICY SP5: ADDRESSING THE PERFORMANCE GAP

- A. All planning permissions granted for new and refurbished buildings should demonstrate that they have been tested to ensure the buildings will perform as predicted and will include a planning condition to require the provision of a Post Occupancy Evaluation Report to the Local Planning Authority within a specified period, unless exempted by Clause B. Where the Report identifies poor energy performance and makes recommendations for reasonable corrective action, the applicant must demonstrate that those actions have been implemented before the condition will be discharged.
- B. Buildings proposed to be certified to a Passivhaus or equivalent standard with a space heating demand of less than 15kwh/m²/year will not be subject to the provisions of Clause A. Where schemes that maximise their potential to meet this standard by proposing the use of terraced and/or apartment building forms of plot size, plot coverage and layout that are different to those of the character area within which the proposal is located, this will be supported, provided it can be demonstrated that the scheme will not have a significant harmful effect on the character area.
- C. All development should be 'zero carbon ready' by design to minimise the amount of energy needed to heat and cool buildings through landform, layout, building orientation, massing and landscaping. Consideration should be given to resource efficiency at the outset and whether existing buildings can be re-used as part of the scheme to capture their embodied carbon.
- D. A Sustainability Statement will be submitted to demonstrate compliance with the policy (except for householder applications). The statement will include a passive design capacity assessment to demonstrate how opportunities to reduce the energy use intensity (EUI) of buildings over the plan period have been maximised in accordance with the energy hierarchy. Designers shall evaluate the operational energy use using realistic information on the intended use, occupancy and operation of the building to minimise any performance gap.
- E. All planning applications for major development are also required to be accompanied by a Whole Life-Cycle Carbon Emission Assessment, using a recognised methodology, to demonstrate actions taken to reduce embodied carbon resulting from the construction and use of the building over its entire life.

5.19 One of the most important measures that can be taken to tackle climate change is in how buildings are designed to ensure they are 'zero carbon ready' now, so they don't have to be expensively retrofit in only a few years' time (at an estimated cost per dwelling of between £15K/£25K). There is a growing evidence base to suggest that buildings do not perform as well as anticipated at design stage. Findings demonstrate that actual energy consumption in buildings will usually be twice as much as predicted. This passes on expensive running and retrofitting costs to future occupants.

5.20 Clause A of the policy therefore requires that every building in a consented housing development scheme of any size is subject to a Post-Occupancy Evaluation (POE) including actual metered energy use, and to submit the report to the local planning authority. It will be implemented by attaching a planning condition, which will only be discharged once the report has been submitted and any recommended actions to rectify any performance gap with the design stage assessment are carried out by the developer. There is no current adopted development plan policy which seeks to deal with the performance gap. In the absence of supplementary guidance from Buckinghamshire Council on POE, guidance has been included in Appendix C. Passivhaus certified schemes will not fail in this way and they are therefore exempted from this policy requirement. PassivHaus is the most common and rigorous design approach, although the build cost is slightly higher than normal, the ongoing energy cost to occupiers is a fraction of the cost now (so avoiding fuel poverty).

5.21 To further incentivise the use of the Passivhaus, or equivalent standard, Clause B of the policy acknowledges that there may sometimes be a trade-off between its objectives and local design policy. Although meeting these standards ought not to compromise a scheme fitting in with the character of a local area, on occasions this may be the case. It therefore allows for some degree of flexibility in meeting the adopted design guidance, especially in terms of prevalent building orientation and density. Proposals seeking to apply the Passivhaus Planning Package (PHPP) must also be able to demonstrate that the Passivhaus standard can be achieved. Prior to commencement a 'preconstruction compliance check' completed by a Passivhaus Designer accredited by the Passive House Institute (PHI) will be required and secured by condition. Upon completion a Quality Approved Passivhaus certificate for each building will be required prior to occupation, again secured by condition.

5.22 Clause C of the policy requires developers to ensure they address the Government's climate change targets and energy performance at the very initial stages of design. 'Zero Carbon Ready' by design means making spatial decisions on layout and orientation of buildings at the outset to maximise the passive design benefits ('free heat') of a site and avoids leaving this to technical choices and assessment at the Building Regulation stage, by which time the opportunity may have been lost. Applicants are directed to the Net-Zero Carbon Toolkit created by Cotswold District Council and two partner councils, WODC and Forest of Dean District Council. The toolkit is available as a resource for private and public sector organisations to use and adopt ([link](#)).

5.23 Clause E requires a Sustainability Statement to demonstrate compliance with the policy along with the passive design capacity assessment, it is anticipated that designers will demonstrate compliance using a design for performance methodology such as the PHPP or CIBSE TM34 Operational Energy. Achieving this level of performance will make a significant contribution to mitigating climate change that the Neighbourhood Plan can help deliver. Many developers and housebuilders are 'pricing in' the need to meet such standards within the next five years anticipating that the Government will need to make national requirements as part of its climate change obligations. This new information requirement need not be an unreasonable expectation of even the smallest schemes for new buildings.

5.24 The policy complements Core Strategy policy 8 on built and historic environment and policy 12 on sustainable energy. However, in the absence of any current adopted policy in Huntingdonshire District covering the energy performance of new buildings, Clause E also requires all development proposals that are not householder applications to be accompanied by a Whole Life-Cycle Carbon Emissions Assessment, RICS methodology is preferred ([link](#)).The assessment will enable the design team to understand and respond to the lifetime consequences of their design decisions and to design for adaptability, longevity and disassembly; contributing to resource efficiency (as per Clause C of the policy) and contributing to the 'circular economy'.

5.25 These requirements will be added to the Buckinghamshire Council Validation Checklist for outline and full planning applications applying to proposals in the parish until such a time that there is a district-wide requirement.

5.26 Every new build or redevelopment project in the parish provides an opportunity to make a difference and a contribution towards meeting our climate change targets for 2050. This new information requirement need not be an unreasonable expectation of even the smallest schemes for new buildings.

POLICY SP6: DESIGN CODE – PARISH WIDE

A. Development proposals in Stoke Poges and Wexham Street will be supported provided they have had full regard to the Stoke Poges Design Code, attached as Appendix D, as relevant to their location, scale and nature.

5.27 Design Codes are detailed and can address a wide range of land use-based issues in an area. By identifying area-specific characteristics, they would guide future development without compromising the rural character.

5.28 This policy responds to the Government's encouragement that Neighbourhood Plans should set out local design guidance by refining saved Local Plan Policy EP3 'The Use, Design and Layout of Development' and Core Strategy Policy 8 'Built and Historic Environment'; and in respect of its Conservation Areas by refining saved Local Plan Policy C1 'Development Within a Conservation Area'; to provide a compendium of design guidance in the form of a Code that covers all of the parish.

5.29 As per Policies SP1 and SP2, the parish-wide Code is an integral part of the policy but is extensive in distinguishing the different settlements in the parish and is therefore published separately as Appendix A to the Neighbourhood Plan. To be clear therefore, as the Code has been prepared and consulted on as part of the Plan, its content carries the full weight of the Development Plan in decision making and is not subordinate or supplementary guidance carrying lesser weight.

5.30 Applicants will therefore be expected to have acknowledged, understood and responded positively to the Code as relevant to the location, scale and nature of their proposals. Where a proposal does not seek to follow the requirements of the Code then the applicant will be obliged to justify why an exception should be made.

POLICY SP7: LOCAL HERITAGE ASSETS

- A. The Neighbourhood Plan identifies a number of buildings and structure as set out in Appendix E as Local Heritage Assets. In weighing up applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.**

5.31 The policy identifies a number of local ('non-designated') heritage assets in the parish that, whilst not statutorily listed, have some local heritage value for the purposes of applying Core Policy 8 on the historic environment and §209 of the NPPF. The owners of the heritage assets properties have already been notified of the proposed inclusion on this list and their responses have been considered. A full account of consultation will be set out in the Consultation Statement in due course.

5.32 The assets have been identified from a number of sources and have been evaluated against the criteria advocated by Historic England in its 2019 guidance note. A description of the value of each asset is provided in Appendix C along with the source. Buckinghamshire Council has its own Local Heritage List project, which shares the same aims of this policy.

POLICY SP8: RURAL RESILIENCE

- A. The Neighbourhood Plan proposes the establishment of a 'shared woodland area' linking the communities of Stoke Poges and Farnham Common, as shown on the Policies Map, comprising a variety of green and blue infrastructure assets, including informal recreation space, a footpath/cycle network and land of biodiversity value.**
- B. Development proposals that lie within the broad location of this 'shared woodland area' will be required to align their public open space and connectivity requirements with its objectives, so that they contribute to its successful formation and maintenance. Proposals that will lead to the unnecessary loss of this 'shared woodland area' land or features that will prejudice its completion will not be supported.**

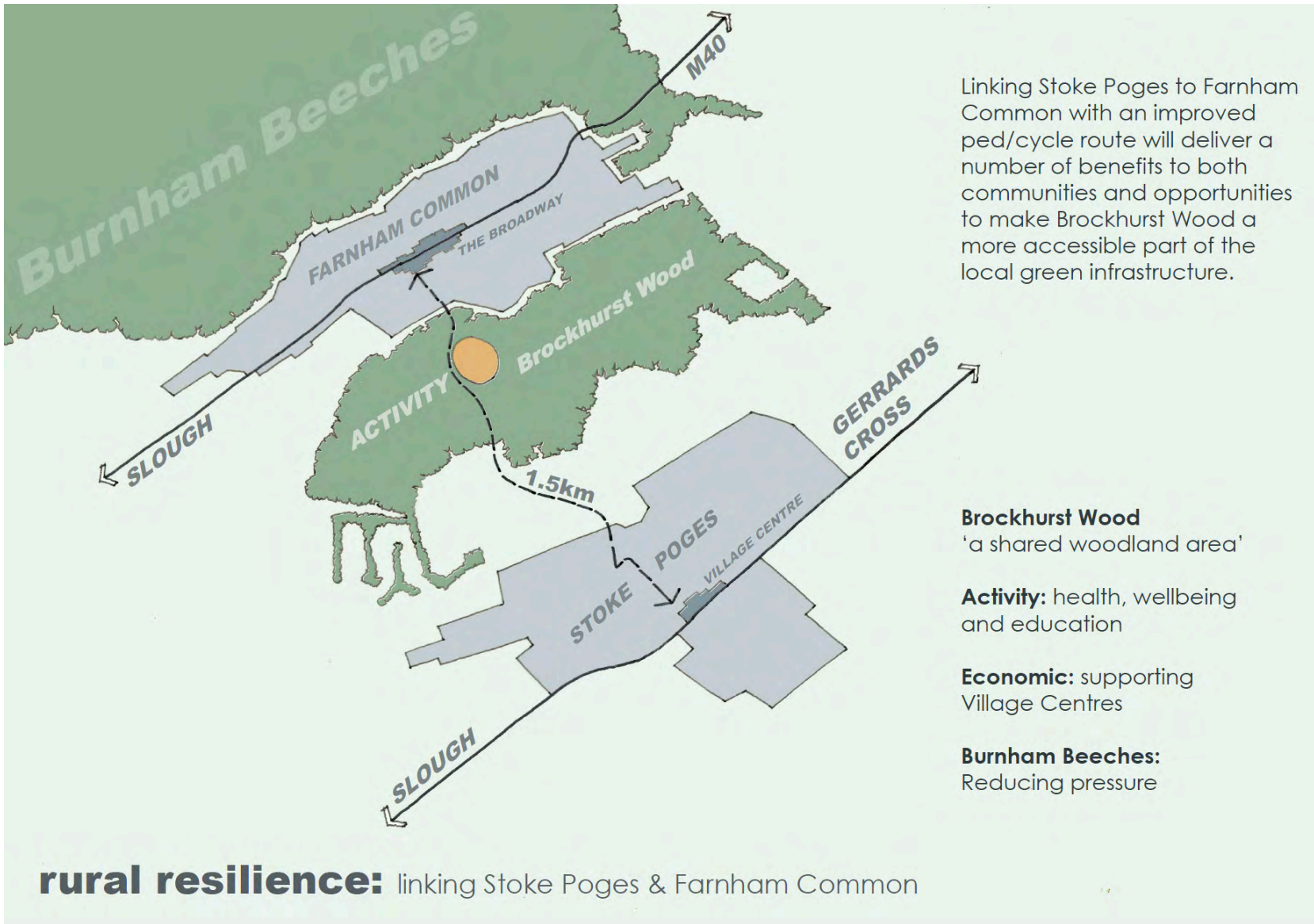
5.33 The policy establishes the principle of 'a shared woodland area' at Stoke Poges as a Green Infrastructure project and identifies its location on the Policies Map, for that part which lies in the designated neighbourhood area. It is anticipated that the Farnhams Neighbourhood Plan will identify the land lying within its designated neighbourhood area. It

requires all development proposals within its broad location to make provision for its delivery and management and it resists the loss of any 'shared woodland area' land or associated features that cannot be justified.

5.34 The planning of Green Infrastructure is an increasingly important element of national policy. The NPPF acknowledges this type of infrastructure can serve many simultaneous purposes, from providing a local recreational asset, to enhancing biodiversity, protecting visual amenity and adapting to climate change. Its two most important features, however, are in creating an improved pedestrian/cycle route using rural resurfacing techniques and accessibility features on the existing public right of way which spans across Brockhurst Woods and Ingram Copse connecting the settlements of Stoke Poges and Farnham Common, and in providing a new amenity for existing residential areas. This may also lead to reduced recreational pressure at Burnham Beeches and positive economic effects for both village centres.

5.35 A longer-term vision for this space is that of focussing on protecting and improving the ancient woodland of Brockhurst Woods, including Ingram Copse, itself (see Plan K). Both Stoke Poges and Farnham Royal Parish Council have in the past sought to purchase the land with a view to securing its protection and enhancement, however to date efforts have remained unsuccessful. The longer-term strategy provides an opportunity to focus on Brockhurst Woods, including Ingram Copse, as a shared woodland area for Farnham Common and Stoke Poges communities bringing opportunities for new activities improving health, leisure and education facilities ranging from an informal meeting space for users of the public right of way to more formal opportunities such as an educational space for local schools and groups.

5.36 The 'shared woodland area' will become a defining feature of the settlements in years to come. It is accepted that its completion may take many years even beyond the plan period and will rely upon future investment and the support of relevant landowners. The Parish Council has also approached Hedgerley, Fulmer, and Wexham parishes, all in the early stages of preparing a Neighbourhood Plan to discuss and agree a similar approach in connecting communities and access to other services as part of its focus on Rural Resilience.



Plan L: Shared woodland area vision diagram

POLICY SP9: GREEN INFRASTRUCTURE

- A. The Neighbourhood Plan designates the Stoke Poges parish Green Infrastructure Network, as shown on the Policies Map, for the purpose of promoting nature recovery and helping mitigate climate change. The Network comprises the establishment of a 'shared woodland area' linking the communities of Farnham Common and Stoke Poges, Stoke Common SSSI, open amenity space, land with known biodiversity value, woodlands, significant hedgerows and lines of trees, water courses and bodies.
- B. Development proposals that lie within or adjoining the Network are required to have full regard to maintaining and improving the functionality of the Network, including delivering a net gain to biodiversity, in the design of their layouts, landscaping schemes and public open space provisions.
- C. Proposals that will harm the functionality or connectivity of the Network, including the loss of ancient woodland, ancient and veteran trees, and ancient wood pasture which are irreplaceable habitats, will not be supported, unless there are wholly exceptional reasons and a suitable compensation strategy exists.
- D. Development proposals that will lead to an extension of the Network including the proper management of ancient woodland, ancient and veteran trees, and ancient wood pasture as irreplaceable habitats will be supported, provided they are consistent with all other relevant policies of the Development Plan.
- E. The Policies Map shows those parts of the designated Network that are known or likely to have biodiversity value either as habitat areas; as hedgerows or lines of trees; or as streams and rivers. For the purpose of calculating Biodiversity Net Gain requirements using DEFRA's latest metric, development proposals located within or adjoining that part of the Network should aim to create or enhance habitats of medium or higher distinctiveness which are appropriate for the overall ecological network in this location.
- F. Any proposal that can demonstrate that off-site compensation to mitigate for biodiversity loss is necessary must follow a sequential approach to its delivery. The gain should be delivered within or adjoining the Network where the land is suited in principle for delivering the necessary gain. If this is not practical, then gain should be delivered on land within an adjoining parish that is suited in principle for delivering the necessary gain. Only if it can be shown that this is not practical may the gain be delivered on other land.

5.37 The policy defines the presence of green and blue infrastructure assets in the parish which have multiple roles including carbon sinking, flood alleviation and biodiversity net gain. By doing so it supports Core Policy 9 on the Natural Environment. The Policies Map shows the full extent of the Network, which allows applicants to determine if their proposals should take this policy into account.

5.38 The policy requires that all development proposals that lie within the network, or that adjoin it, should consider how they may improve it, or at the very least do not undermine its integrity of connecting spaces and habitats. This may mean that development layouts are designed to contribute to the network's effectiveness. The policy also requires a biodiversity net gain to be delivered. This is expected to be in line with national provisions which is expected to be a minimum of 10% as identified in the Environment Act 2021. Net gain will be measured using DEFRA's latest biodiversity metric.

5.39 The policy also recognises that the provisions of the NPPF on irreplaceable habitats (such as ancient woodland or ancient or veteran trees) applies in the designated neighbourhood area. Proper management of this special resource will be expected to be in line with Natural England and the Forestry Commission's standing advice on this matter.

5.40 There is a variety of priority habitat areas in the parish but no Countryside Stewardship Agreements. Although it is not expected that the village will see any significant development in the plan period, there may be the opportunity from even modest schemes that lie within or adjoin an asset, that are acceptable in other planning terms, to enhance or connect these assets. Opportunities include schemes making provision for wildlife in the design of their proposals, particularly swift bricks, house martin nest boxes, bat box bricks, insect bricks and hedgehog holes in fences between gardens and external natural environments. Additional biodiversity enhancements can be stated following consideration of existing species records within the Parish. The Buckinghamshire and Milton Keynes Environmental Records Centre should be consulted for records of protected and notable species records within the Parish. In addition to the focussed Green Infrastructure project of Policy SP7, and recent Parish Council improvements and commitments to improving existing Green Infrastructure as set out in the Green Infrastructure Plan attached as Appendix F, opportunities to improve Green Infrastructure identified by the Neighbourhood Plan include additional catchment woodland, riparian woodland and floodplain woodland planting opportunities using the 'Working with natural processes to reduce flood risk' evidence base by the Flood and Coastal Erosion Risk Management Research and Development Programme and Environment Agency in February 2021 ([link](#)) and National Habitat Network expansion, action, enhancement and restorable habitat zones using the National Habitat Network Maps evidence base by Natural England in May 2020 ([link](#)). These opportunities are shown on Plans M and N below and the Parish Council will seek to work with landowners to realise such opportunities where possible avoiding the loss of the best and most versatile agricultural land.

5.41 Clauses E and F respond to the biodiversity net gain (BNG) provisions of the Environment Act 2021, which will become a statutory part of plan making and

development management in November 2023, April 2024 for small sites. The BNG Metric (currently in its 4.0 version and includes a Small Sites Metric which is a simplified version of the 4.0 Metric) will provide the means for applicants to calculate the baseline biodiversity value of the application site in determining the net gain requirement of their proposals. The Policies Map makes a distinction between those parts of the Network that have, or are likely to have, existing biodiversity value, based on published mapped data and observation, and those that do not. Green Infrastructure is multi-functional but some features – for example amenity and formal recreational land – are unlikely to have biodiversity value or will be suited to improving that value by the nature of their use.

5.42 Clause E relates to those parts of the Network of biodiversity value. Given it includes all defined Priority Habitats and semi-natural habitats, native hedgerows and trees and natural water bodies, the clause anticipates that the distinctiveness multiplier score of the BNG Metric (from very low to very high) will be at least medium.

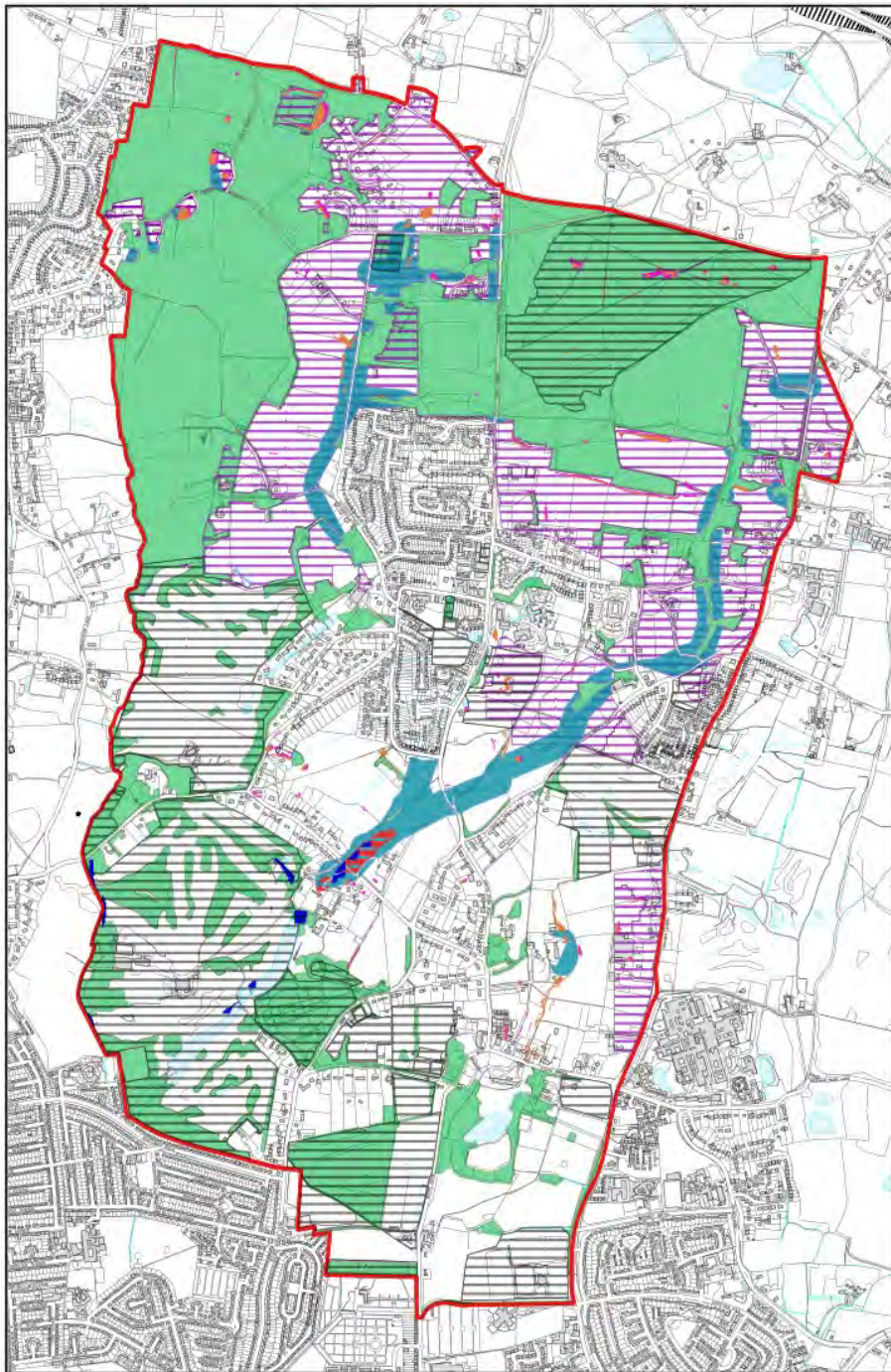
5.43 Finally, the policy sets out how the loss of biodiversity value will be addressed through a sequential approach. The new biodiversity net gain requirement of at least 10% (as set out by the Environment Act of 2021) should be delivered either onsite or within or adjoining the Network so that the benefits of development are accrued as close as possible. In every case, attention should be paid to schemes avoiding undermining the openness of the Green Belt. However, it is accepted that the Network in the parish may not be suited to delivering every type of required off-site gain. In such cases Clause F allows for the gain to be delivered in adjoining parishes to Stoke Poges or, as a final resort, on land elsewhere.

5.44 Further information on how BNG can be achieved is provided in the Biodiversity Net Gain Supplementary Planning Document (BNG SPD) published by Buckinghamshire Council (<https://www.buckinghamshire.gov.uk/environment/ecology-and-biodiversity/biodiversity-net-gain/>)

5.45 A more detailed explanation of the GI network is included in Appendix F Stoke Poges Green Infrastructure Plan.

Stoke Poges Neighbourhood Plan Green Infrastructure Map


July 2023



 Neighbourhood Plan Area


 Existing Green Infrastructure

 Existing Blue Infrastructure


 Amenity Open Space


Natural Flood Management:


 Additional Floodplain Woodland

 Additional Riparian Woodland

 Additional Catchment Woodland

 Enhanced Floodplain Reconnection

 Runoff attenuation features to reduce 1/30 annual probability flows

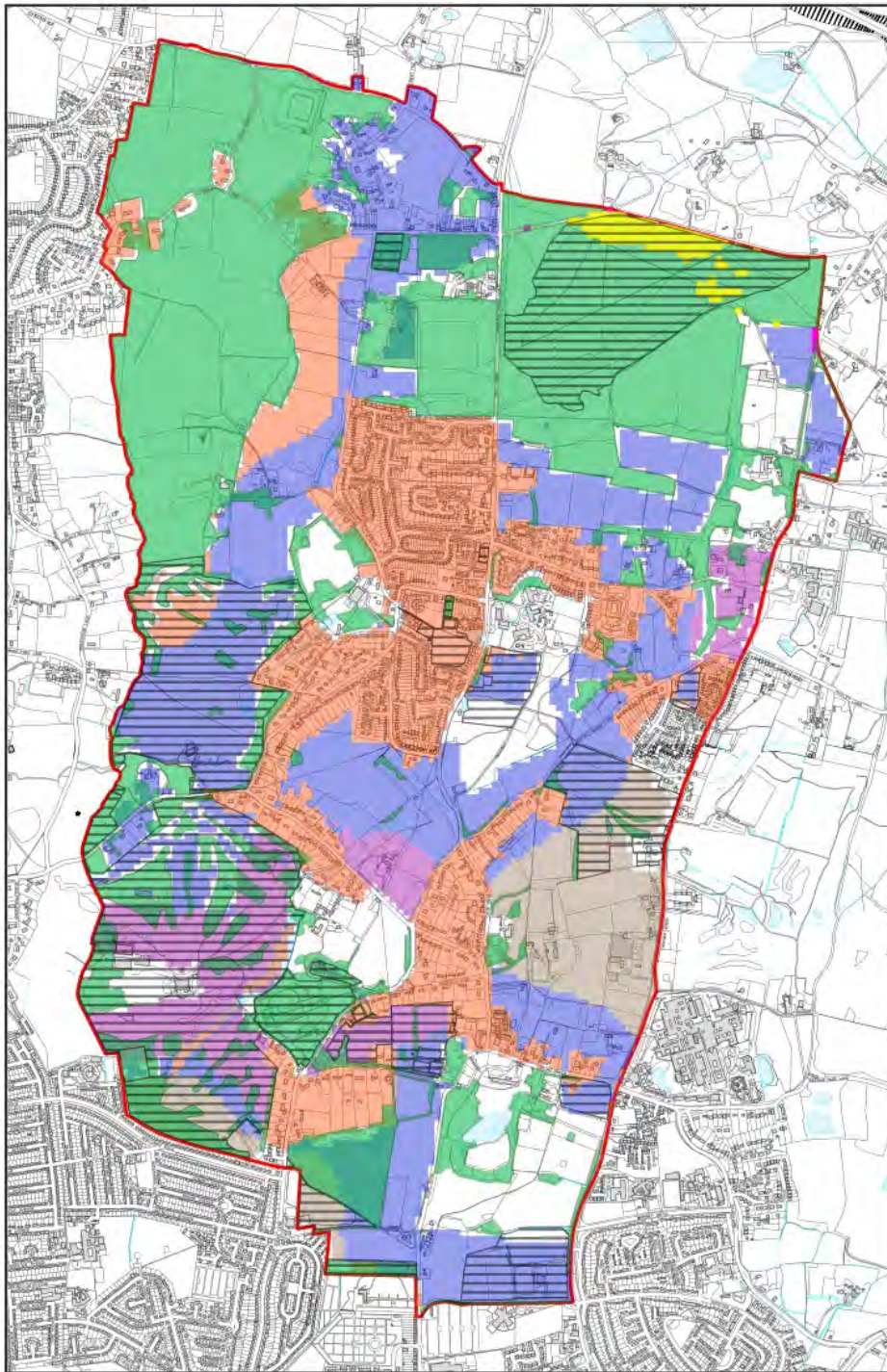
 Runoff attenuation features to reduce 1/100 annual probability flows

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Plan M: Natural Flood Management planting opportunities in Stoke Poges

Stoke Poges Neighbourhood Plan Green Infrastructure Map

July 2023



-  Neighbourhood Plan Area
-  Existing Green Infrastructure
-  Existing Blue Infrastructure
-  Amenity Open Space

National Habitat Network :

-  Habitat Restoration-Creation
-  Fragmentation Action Zone
-  Network Expansion Zone
-  Network Enhancement Zone 1
-  Network Enhancement Zone 2
-  Restorable Habitat

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Plan N: National Habitat Network opportunities in Stoke Poges

POLICY SP10: LOCAL GREEN SPACES

A. The Neighbourhood Plan designates the following as Local Green Spaces, as shown on the Policies Map:

- 1. Vine Road;**
- 2. Village Green;**
- 3. Sefton Paddock;**
- 4. Recreation Ground;**
- 5. Decies Way;**
- 6. Penn Meadow**

B. Proposals for development in a Local Green Space will only be supported in very special circumstances.

5.46 This policy designates a series of Local Green Spaces in accordance with §105-107 of the NPPF. A designation has the policy effect of the equivalence of the Green Belt when determining planning applications located within a designated Local Green Space. For this reason, the policy only identifies those spaces that are not in the Green Belt – there are many other cherished local spaces that are in the Green Belt and that therefore already have this protection and so are not listed in the policy.

5.47 The policy resists all development proposals that will undermine the essential character of designated areas, unless there are very special circumstances as set out in NPPF §152, to justify why consent should be granted. Its effect is to provide important Local Green Spaces with protection from development equivalent to that which applies in the Green Belt. Any proposal must maintain the essential open character of the space and must, in any event, demonstrate exceptional circumstances for its justification.

5.48 The Local Green Spaces Report published below establishes how each space meets the tests set out in the NPPF. The owners of the Local Green Spaces have already been notified of the proposed inclusion on this list and their responses have been considered in the Consultation Statement which will be published alongside the Submission Plan in due course.

Local Green Spaces in Stoke Poges

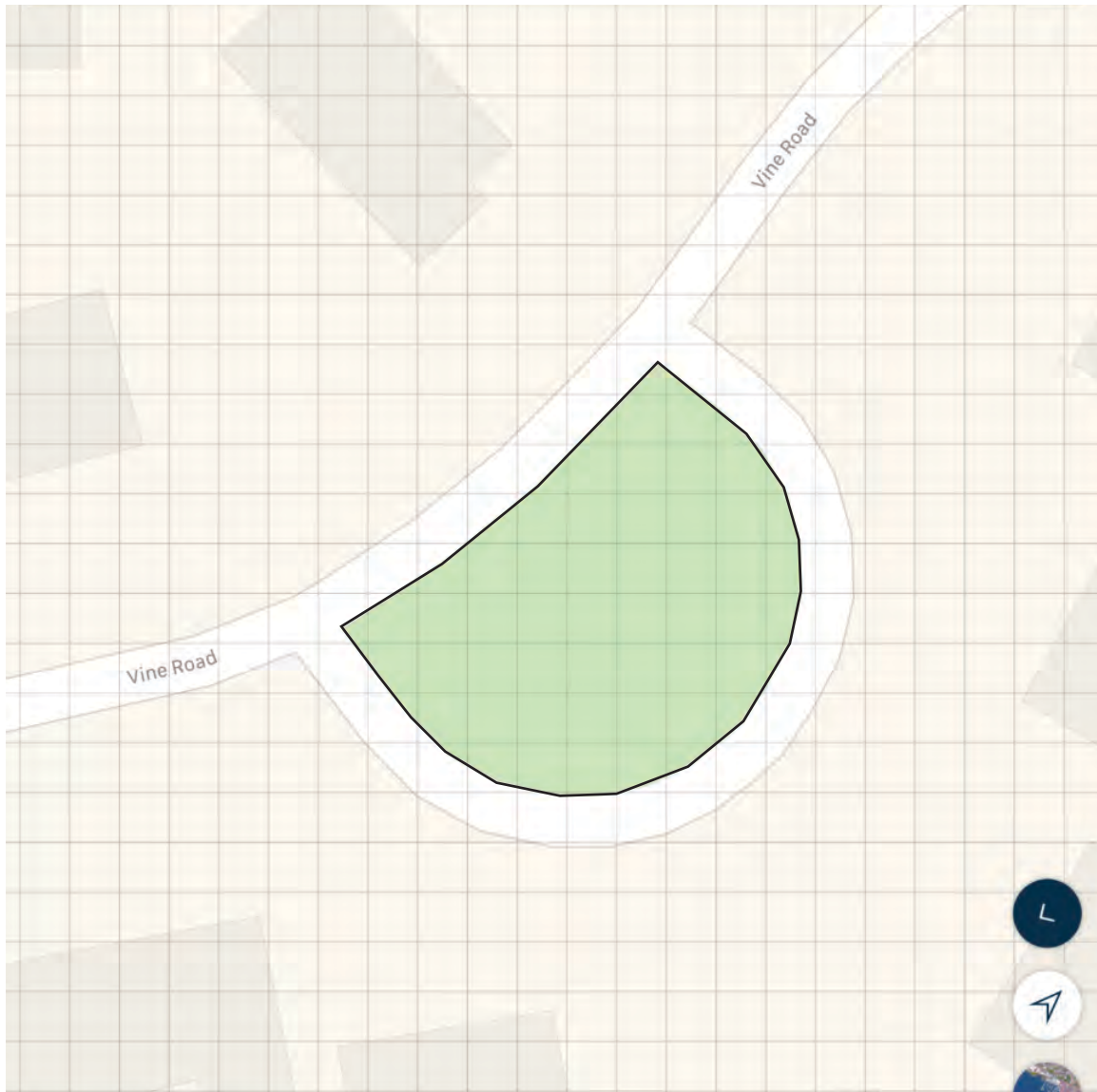
January 2024

There are six specific green spaces within the parish of Stoke Poges that are not part of larger areas of particular interest, such as Stoke Common which is an SSSI in its own right.

These sites are identified on the Stoke Poges Neighbourhood Plan Policies Map. For the purposes of this report the area of each site has been estimated using the What Three Words map which divides the country into 3m square areas and thus enables the size of any area to be estimated to a reasonable accuracy.

Each area adds character to its location and enhances the open nature of the village as a whole but a description of each accompanies the maps in this section and the location on the Policies Map.

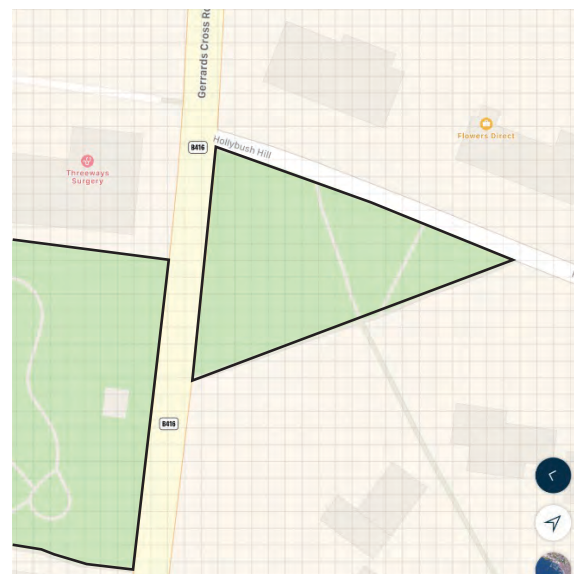
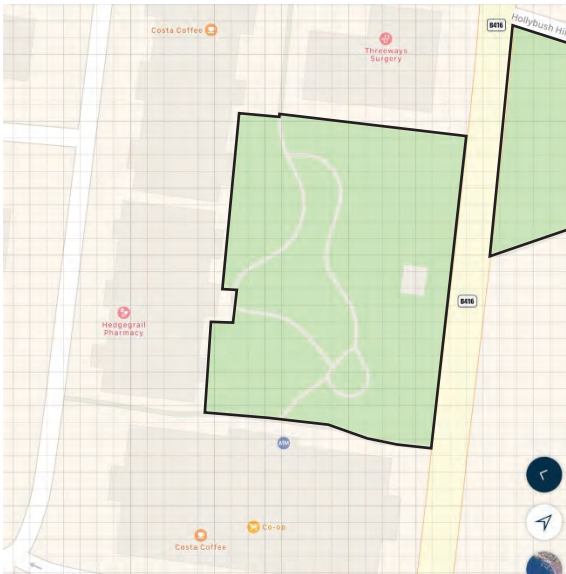
1. Vine Road 450 m² (0.11 acre)



This small grassed area is surrounded by closely developed semi-detached housing. It has a number of small hardwood trees as well as carefully maintained lawn. It provides an open area that relieves the local built-outlook by providing a more open aspect in this part of the village.

It is maintained by the local authority but “cared for” by local residences for whom it provides an area for recreation, dog walking and an open aspect amongst a an part of the village with concentrated housing.

2. **Village Green – main area with statue** **3483 m² (0.86 acre)**



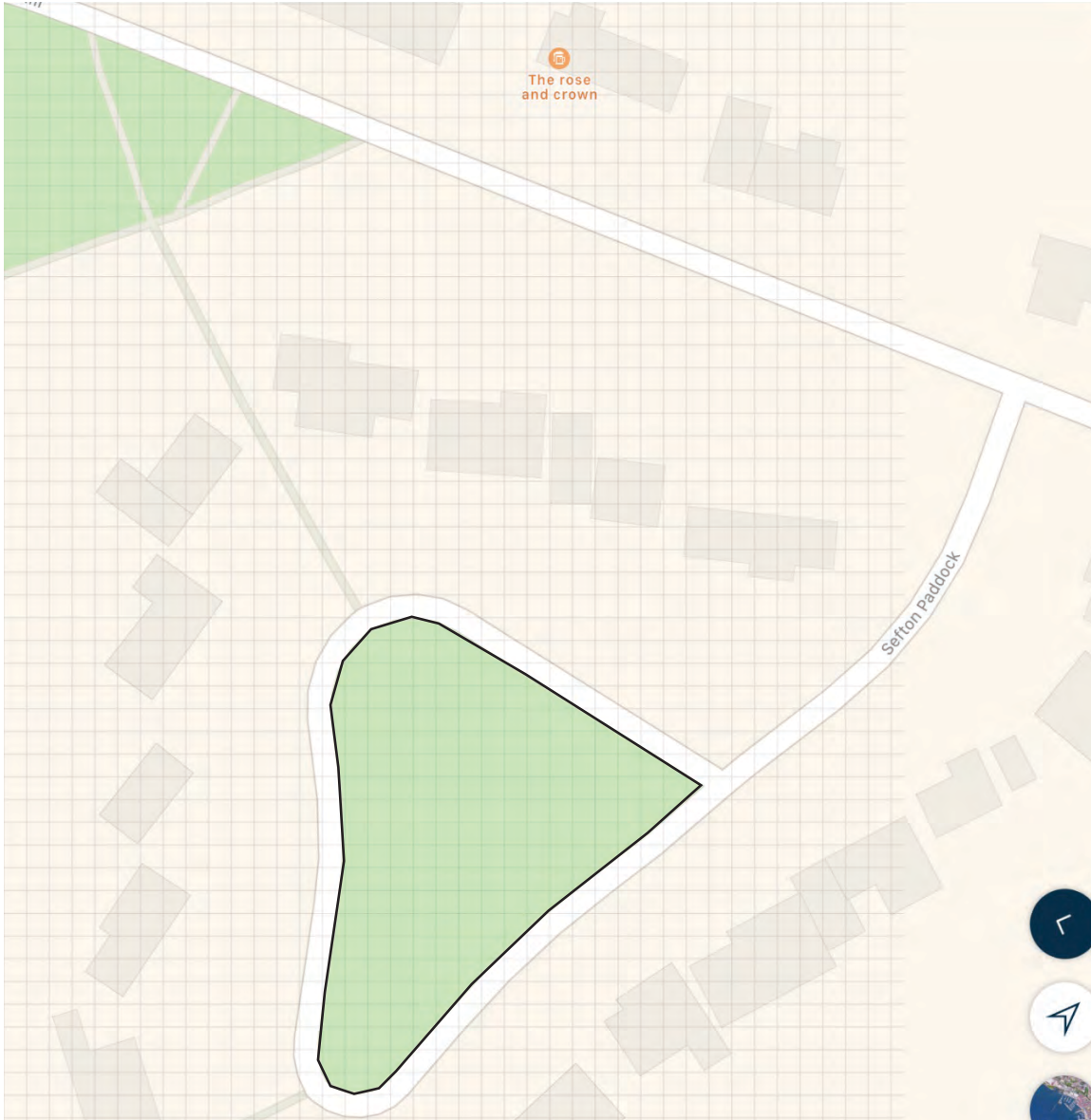
This is the central feature of the village. The green is divided by the B416 Slough to Gerrards Cross road but retains its cohesiveness as the main green central.

It is picturesque in its own right but also forms an important location as the focus of the village. It contains the village memorial to the great wars, hosts the annual Remembrance Ceremony, has one of the village flag poles and it is beautifully illuminated at Christmas.

This area is very much the focal point of the village. Villagers congregate around the memorial statue where there is communal seating and it is adjacent to the shops and café which serve the village.

The green is maintained by Parish Council funded professional and a cohort of volunteers who look after the gardens and maintain the various beautiful mature trees. There is beacon for ceremonial events and two flag poles which fly the appropriate flags serviced by another volunteer.

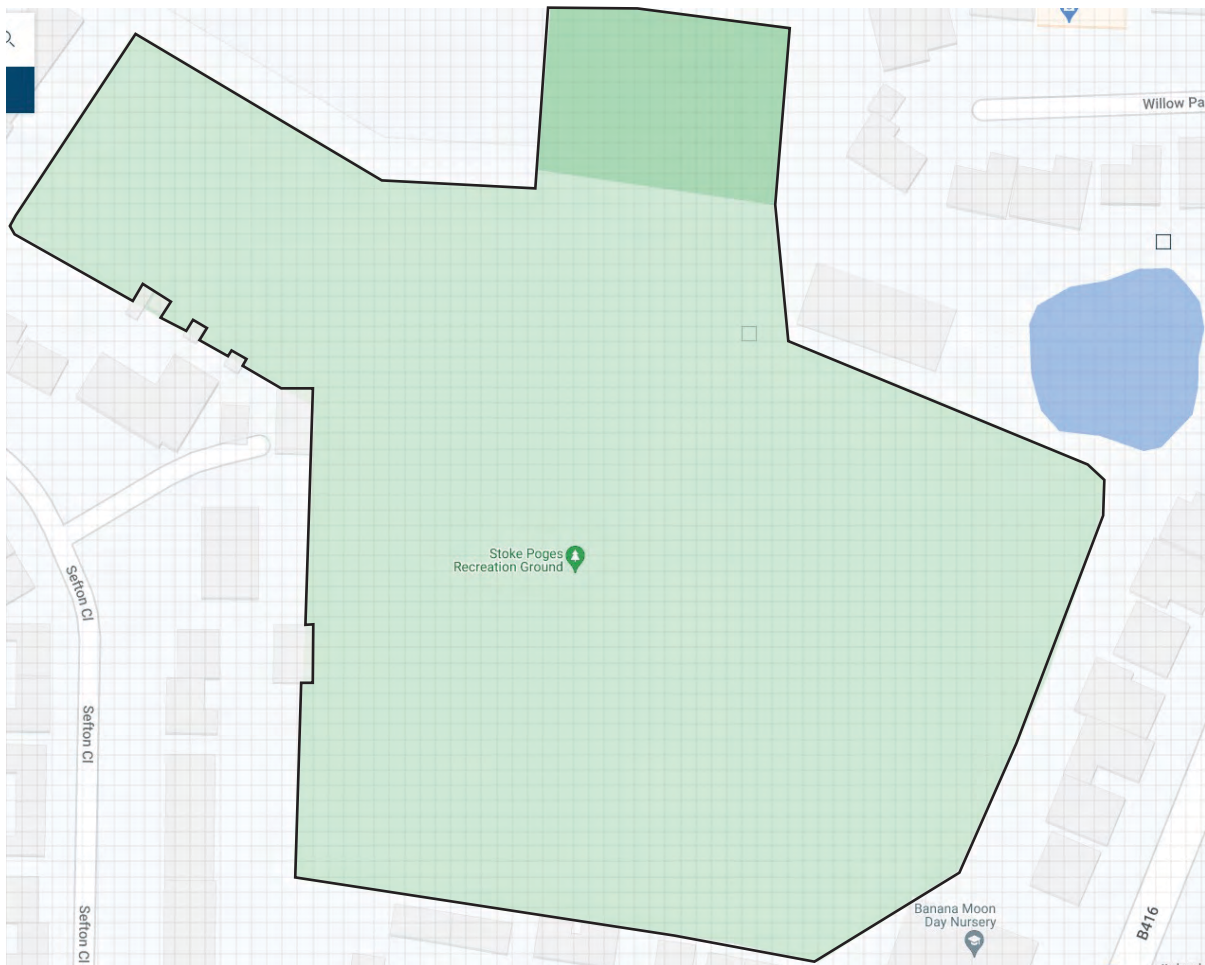
3. Sefton Paddock 1728 m² (0.43 acre)



This small grassed area forms a picturesque central “island” surrounded by closely developed detached housing. It has a number of beautiful mature hardwood trees as well as carefully maintained lawn. It provides an open area that relieves the local built outlook by providing a more open aspect in this part of the village.

This area is used for recreation and exercise by many villagers; the mature trees are particularly majestic.

4. Stoke Poges Recreation Ground 24646 m² (6.10 acre)



This Recreation Ground is located central to the village and is the main open space for sports and other recreational activities.

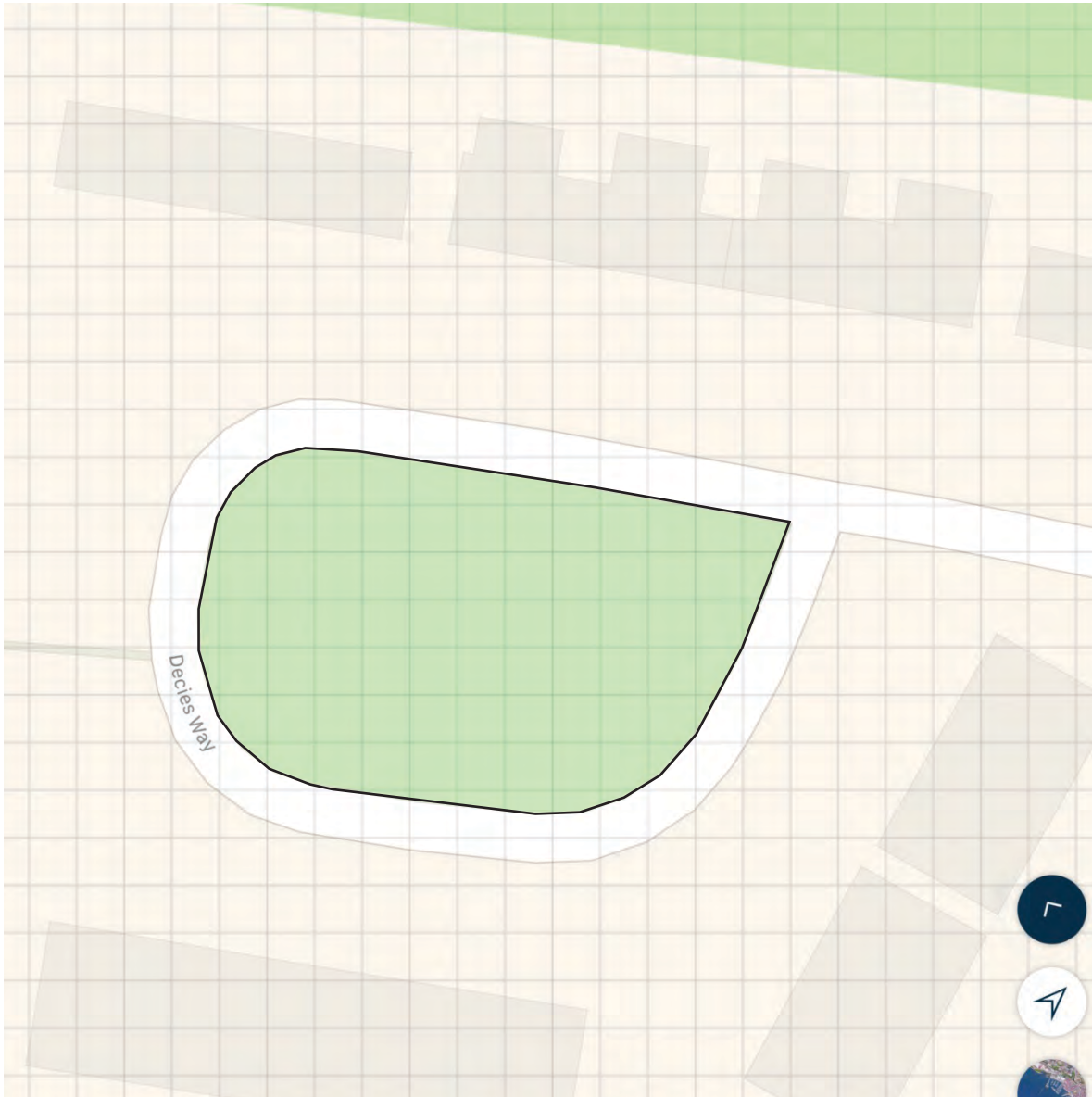
It has a well-equipped children's playground, adult exercise apparatus, a dedicated walking-running path around its perimeter, an all-weather Multi-use games Area, is adjacent to, and with an unencumbered view of, the village pond.

The main area has a football pitch which is the home ground of the local village football club which has all the usual attractions of watching and/or playing for villagers of all ages.

Supporting all these facilities is a modern fully equipped pavilion with a hall for uniform-group activities, kitchen and showers for sports teams.

The ground hosts village events other than sports during the year including outdoor cinema, jubilee celebrations and so on.

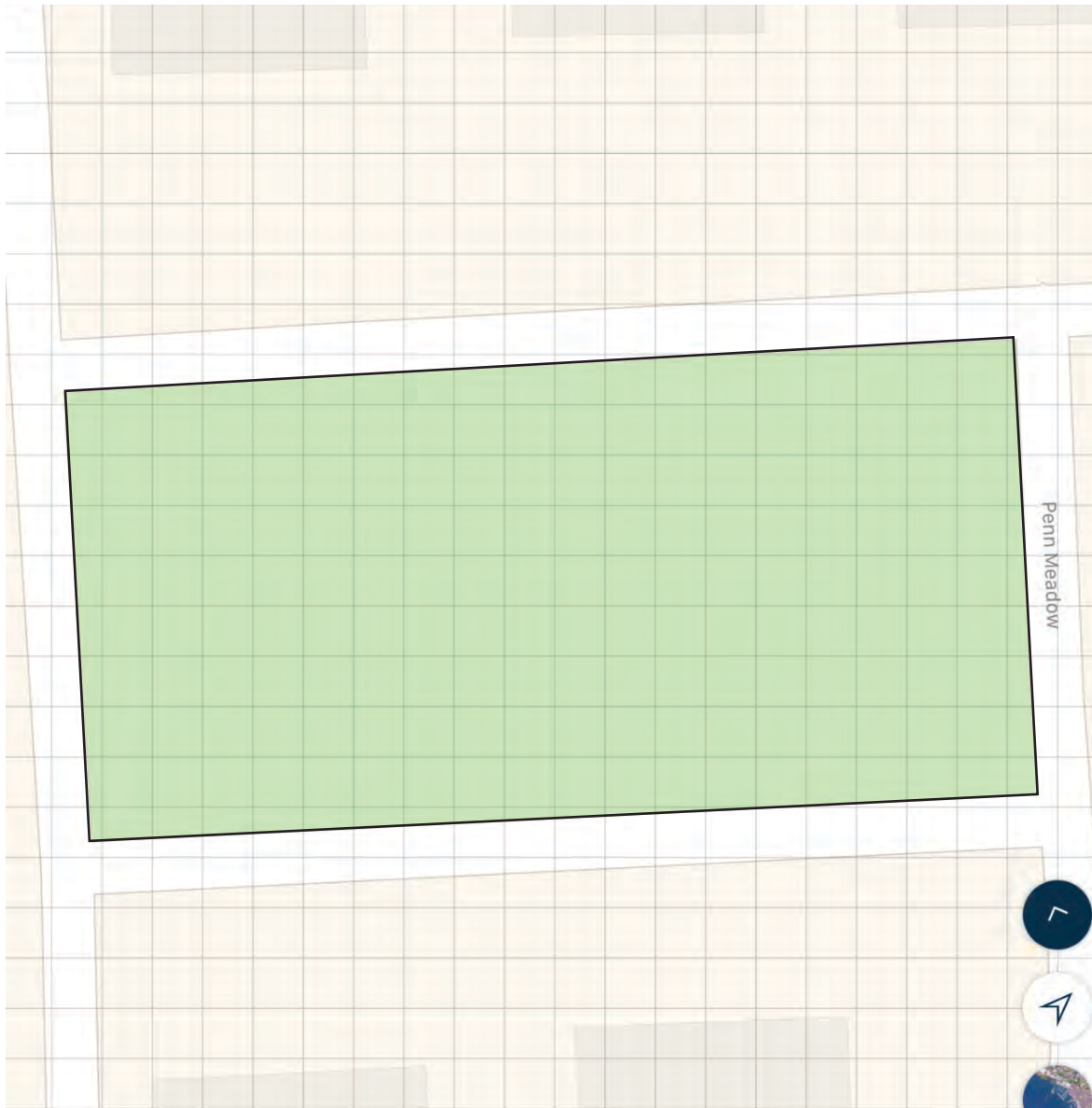
5. Decies Way 657 m² (0.16 acre)



This small grassed area forms a picturesque central “island” surrounded by closely developed mixed housing stock. It has a carefully maintained lawn. It provides an open area that relieves the local built outlook by providing a more open aspect in this part of the village.

It is used extensively by villagers for recreation, dog walking and exercise.

6. Penn Meadow 1539 m² (0.38 acre)



This small grassed area forms a picturesque central “island” surrounded by closely developed mixed housing stock. It has a carefully maintained lawn. It provides an open area that relieves the local built outlook by providing a more open aspect in this part of the village.

It is used extensively by villagers for recreation, dog walking and exercise.

POLICY SP11: LOCAL ACCESS NETWORK

A. The Neighbourhood Plan identifies the Local Access Network, as shown on the Policies Map, for the purposes of supporting healthy and safe active travel opportunities in the parish.

B. Development proposals on land that lies within or adjacent to the network should sustain, and where practicable, enhance the functionality of the network by virtue of their layout and means of access and landscape treatment.

C. Proposals that will cause harm to the functioning or connectivity of the network will not be supported.

D. Key Locations, as shown on the Policies Map, have been identified as opportunities for creating Safe Routes and areas where public realm improvements and traffic mitigation measures are required to enhance the active travel environment and improve residential amenity and highway safety. Proposals which deliver such public realm improvements and traffic mitigation measures at Key Locations will be supported.

5.49 The policy seeks to encourage safe, accessible, convenient and enjoyable means of walking and cycling in the parish. It refines Core Policy 7 on Accessibility and Transport by providing a local element to its provisions. Stoke Poges has a number of villages and other significant places, such as the local hospital, various pubs and shopping facilities within a relatively short distance of its centre. However, obstacles on these main routes mean that cycling in particular is difficult, as detailed in the Green Infrastructure Plan published in the evidence base.

5.50 The policy therefore seeks to start to deal with these issues by identifying the main existing walking and cycling routes. The Policies Map shows the full extent of the Network, which allows applicants to determine if their proposals should take this policy into account. The policy requires all development proposals that lie within or adjacent to the Network to consider how they may improve connectivity, or at the very least do not undermine the existing value of the Network, or the opportunities for improvement.

5.51 Where proposals include provision for landscaping, new means of access or new layouts, there may be an opportunity to relate the land better to the Network and/or improve the attractiveness and connectivity of routes. Proposals should therefore consider this in the design of schemes without undermining other planning policy objectives. In some cases, proposals will enable the creation of new connections and/or the delivery of opportunities for improvement that extend the benefits of the Network. They will be

supported provided they are appropriate in other respects. At the very least, the policy requires that proposals that will undermine the existing value of the Network, or opportunities for improvement, will be refused permission.

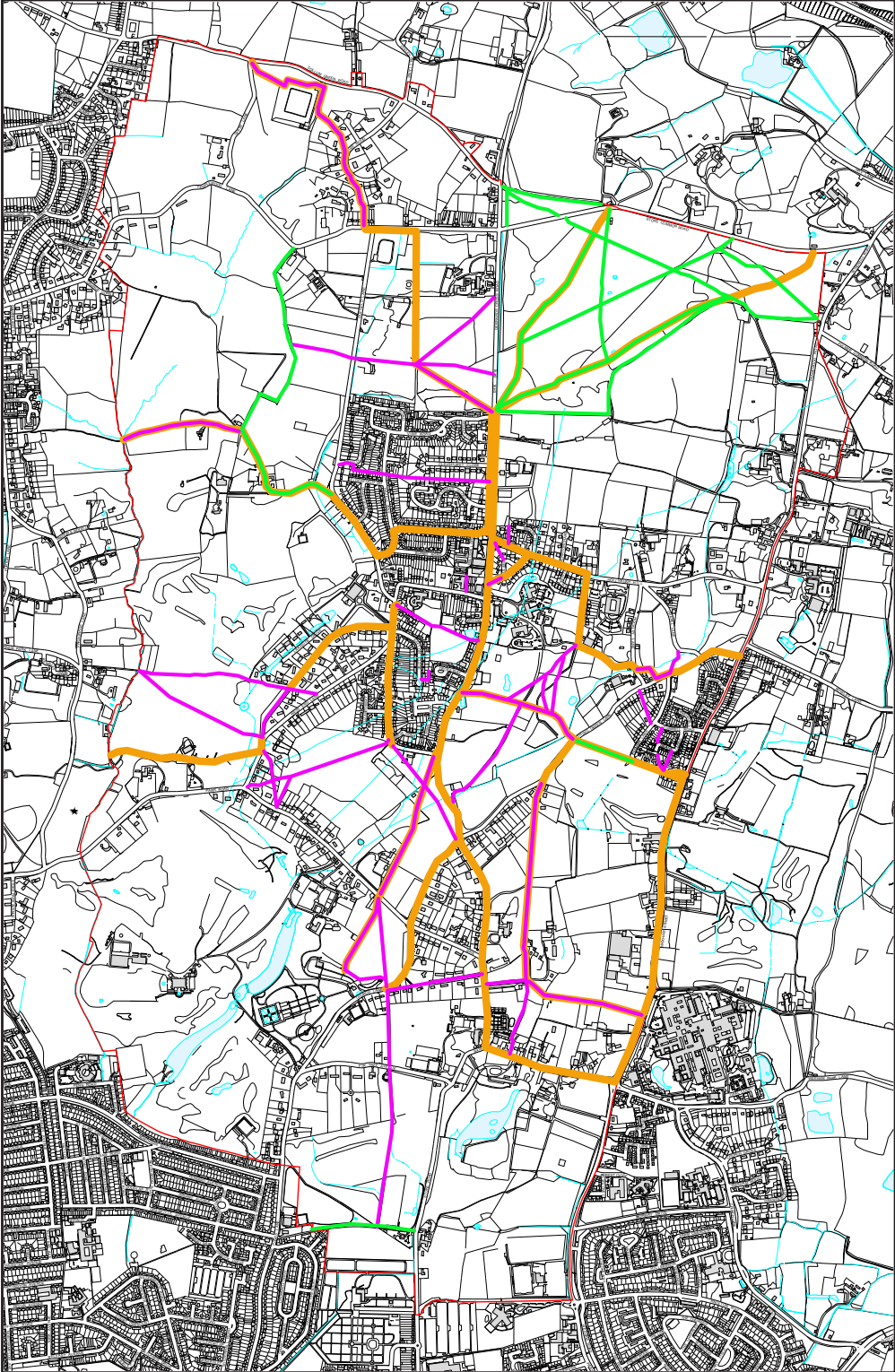
5.52 The Green Infrastructure Plan, attached as Appendix F explores in detail the opportunities, including the establishment of Safe Routes, their improvement and wayfinding projects, as well as a Safe Route Gate Project, to encourage more people to cycle in and around Stoke Poges. The local community have been supportive of the opportunities identified.

5.53 Funding suggestions to improve the Local Access Network, published in the Neighbourhood Plan evidence base, identifies four routes in the parish for improvement. Each route is identified on a map and the current limitations of each are explained. Suggestions are also made for how each route could be improved to increase the usability, hopefully increasing use of the Local Access Network.

Stoke Poges Neighbourhood Plan

Policy SP11 Local Access Network

- Footpath
- Bridleway
- Key Locations



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Plan O: Local Access Network

- A. All development proposals should be designed to prevent or minimise the occurrence of light pollution wherever possible. Proposals for new or replacement external lighting, and other externally projected lighting, should:**
- i. Demonstrate a need for new external lighting for its intended purpose through clear evidence or significant community demand, permanent street lighting will not be supported;**
 - ii. Maintain or enhance the measured predevelopment dark sky quality of the surrounding area;**
 - iii. Meet or exceed the current guidelines established by the Institute of Lighting Professionals (ILP); and**
 - iv. Employ energy efficient forms of lighting that also reduce light scatter.**
- B. Proposals for all development will be expected to demonstrate how it is intended to prevent light pollution. Information on these measures must be submitted with applications, and where a development would potentially impact on light levels in the area, an appropriate lighting scheme will be secured by planning condition.**

5.54 The south of Stoke Poges is impacted by bright light from both the Slough urban area and Wexham Park Hospital. This high level of radiance bleeds away from the hospital along Wexham Street and Stoke Green, following hospital traffic routes where there is some street lighting. To the north and north east of the village, the M40 and M25 motorway corridors are also characterised by very high levels of light shining into the night sky. There is minimal street lighting in the village of Stoke Poges and the core of the village currently has just 10 LED street lights which are all directional and capped to reduce light pollution. There is a desire to maintain the semi-rural character of the settlement of Stoke Poges and to protect and encourage nocturnal wildlife regularly spotted in Stoke Poges (including foxes, badgers, owls, hedgehogs and bats. Bat surveys have recorded Soprano pipistrelle, Common pipistrelle, Serotine, Noctule, Myotis and Brown long-eared bats).

5.55 Many councils across England support measures to protect and enhance the dark night sky and a detailed background report on the Dark Skies of Stoke Poges is included in the evidence base. The policy reflects the purpose and objectives of Core Policy 9 on the Natural Environment. To help achieve these objectives the policy is designed to guide decisions on new and replacement lighting and help private householders and businesses make the right lighting choices. For all proposed developments, factors that will be considered when deciding the appropriateness of artificial lighting, include the location, the hours of operation, the quantity of lights proposed, brightness and control, and

direction of the beam. A lighting scheme (or assessment) is defined on the Buckinghamshire validation checklist as 'an assessment setting out details of number, type, location, intensity, beam orientation, and intended hours of use for any external lighting'. The checklist also makes clear that such an assessment should include any resulting light pollution (spillage). Appropriate mitigation and control measures secured by planning conditions to prevent unnecessary light pollution include:

- a. The use of 'curfew hours' through automatic timers, and night time dimming – Stoke Poges Tennis Club uses a number of floodlights to illuminate their courts with a 9pm curfew;
- b. The use of proximity infrared motion sensors, timers or any additional shielding or coving, including angling the front surface of lights to below the horizontal – Stoke Poges recreational buildings such as the Bells Hill Recreation Ground uses exterior downlighting only activated when the building is in use;
- c. The use of different surface types to reduce the amount of reflectivity;
- d. Screening or shielding to reduce the impact of reflectivity; and
- e. Reflect the latest best practise guidance on light types in terms of lumens, wattage, angle, height, colour, warmth, etc.

Guidance and best practice can be found on the Institute of Lighting Professional's website ([link](#)).

6. IMPLEMENTATION & MONITORING

6.1 The Neighbourhood Plan policies will be implemented through the determination of planning applications for development in the parish by BC.

DEVELOPMENT MANAGEMENT

6.2 The planning authority will use a combination of the Local Plan and Neighbourhood Plan policies to inform and determine its planning application decisions. The Parish Council is a statutory consultee on planning applications made in the parish and it will be made aware of any future planning applications or alterations to those applications by Bucks Council. It will seek to ensure that the Neighbourhood Plan policies have been identified and applied correctly by applicants and by officers in their decision reports.

6.3 Where necessary, the Parish Council may seek to persuade the Secretary of State to call-in a planning application that it considers is in conflict with the Neighbourhood Plan but which the planning authority has deemed to consent. Similarly, it may also seek to persuade the Secretary of State to recover an appeal of a refused application, where the conflict with one or more Neighbourhood Plan policies has been important in the reasons for refusal. In both cases, the Parish Council will do so if it considers matters of national policy significance (for Neighbourhood Planning) are raised.

LOCAL INFRASTRUCTURE IMPROVEMENTS

6.4 Where opportunities arise through S106 agreements (or through the Community Infrastructure Levy) to secure financial contributions to invest in improving local infrastructure. Should an opportunity arise, the Parish Council will review the evidence base and community consultations for the Neighbourhood Plan to inform its view in liaising with BC. This is in addition to the infrastructure projects that are proposed to be delivered through site specific policies in this Neighbourhood Plan. A preliminary list has been set out below:


- Green Infrastructure improvement projects – including the ‘shared woodland area’ project and improving accessibility of existing footpaths, verges and landscaped areas
- Improvements to the Local Access Network – four particular routes have been highlighted (included in Appendix). Of the four routes, two would involve liaison and co-operation with neighbouring parishes.
 - Stoke Poges to Farnham Common
 - The Wexham part of Stoke Poges to the central part
 - Stoke Poges to Black Park
 - Stoke Poges to Farnham Royal and Farnham Road shopping area

6.5 During the process of preparing the Neighbourhood Plan, there have been many ideas for improving or addressing current problems in the parish that lie outside the scope of the land use planning system to control. The Parish Council has noted these issues and will take them forward through its day-to-day business and in partnership with the local community and relevant parties. These include:

- Increase in traffic
- Our lanes being used as rat runs
- Speeding traffic
- Lack of parking enforcement
- Parking on grass verges causing damage
- The village school does not feel like a village school as a large number of pupils come from outside of Stoke Poges. This in turn adds to an increase in traffic, bad parking behaviours and a general feel of loss of village life. Similarly very few pupils from the village attend the Pioneer Secondary Academy, the vast majority coming from outside Stoke Poges.
- Continued lobbying for improved public transport services and reinstatement of pavement maintenance.
- Continued engagement with planning enforcement at Buckinghamshire Council.

Stoke Poges Neighbourhood Plan Policies Map

November 2023

 Neighbourhood Plan Area

SP1: Design Code - Stoke Poges Sites

-  1. Rogers Lane
-  2. Thames House
-  3. West End Court
-  5. Bells Hill Green
-  6. Neville Close

SP2: Design Code - Wexham Street Site

-  4. Deans Close


SP3: Sefton Park

-  Policy Area A
-  Policy Area B and C

SP7: Local Heritage Assets



SP8: Rural Resilience

-  'Shared Woodland Area'

SP9: Green Infrastructure Network

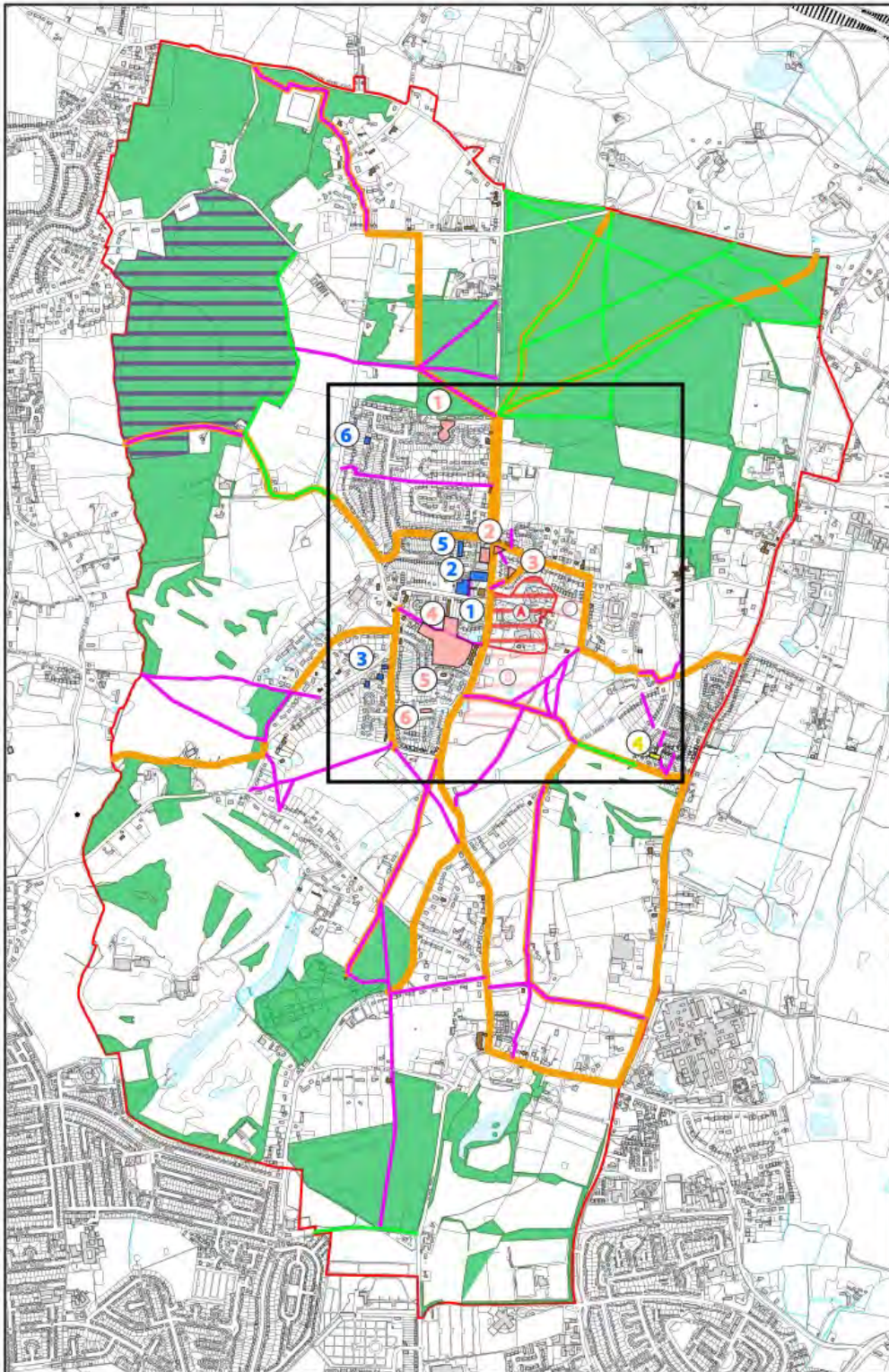
-  Green Infrastructure
-  Blue Infrastructure

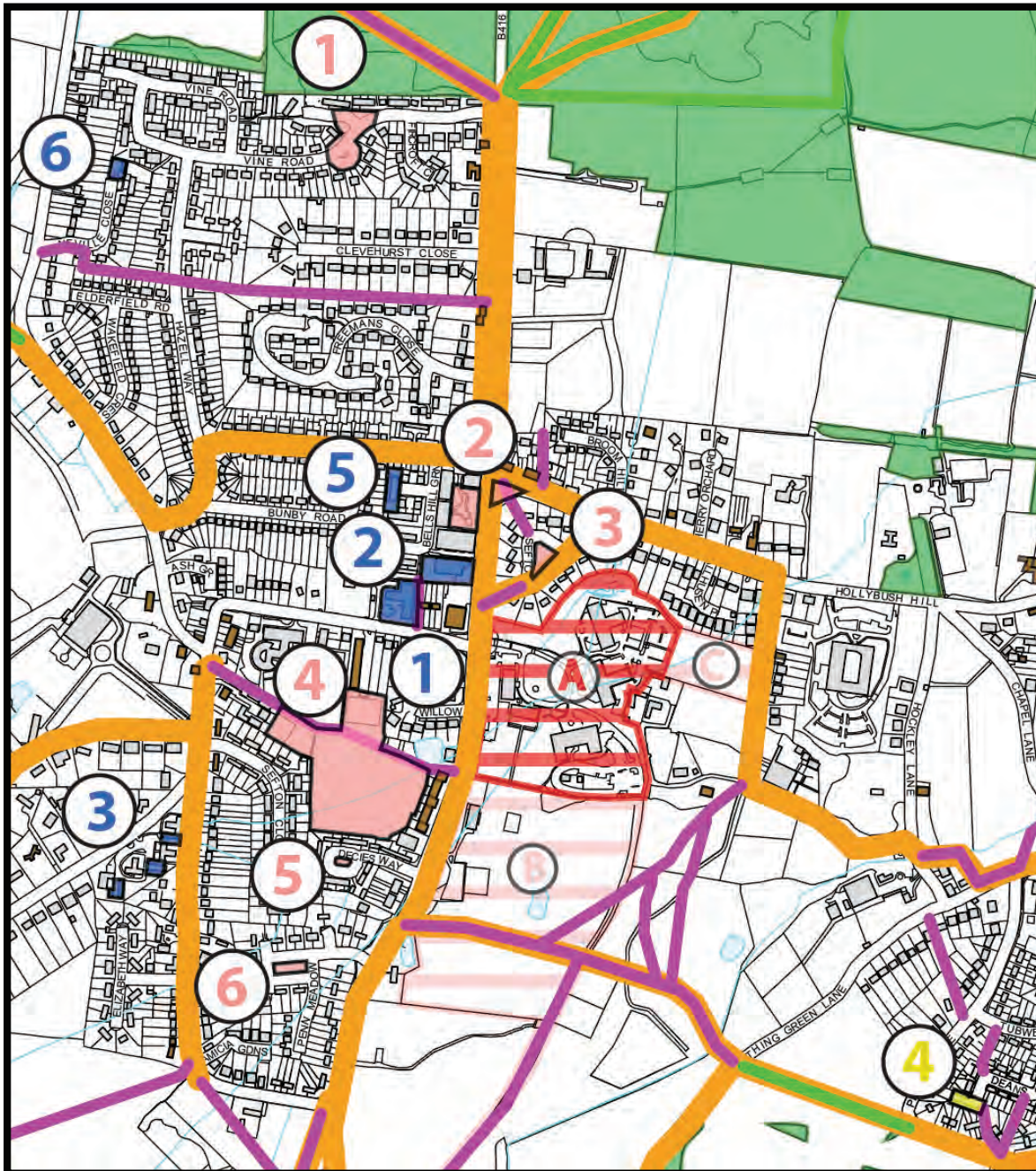
SP10: Local Green Spaces

-  1. Vine Road
-  2. Village Green
-  3. Sefton Paddock
-  4. Recreation Ground
-  5. Decies Way
-  6. Penn Meadow

SP11: Local Access Network


-  Footpath
-  Bridleway
-  Key Locations






Stoke Poges Neighbourhood Plan Policies Map - Inset

November 2023

 Neighbourhood Plan Area

SP1: Design Code - Stoke Poges Sites

-  1. Rogers Lane
-  2. Thames House
-  3. West End Court
-  5. Bells Hill Green
-  6. Neville Close

SP2: Design Code - Wexham Street Site

-  4. Deans Close



SP3: Sefton Park

-  Policy Area A
-  Policy Area B and C

SP7: Local Heritage Assets






SP9: Green Infrastructure Network

-  Green Infrastructure
-  Blue Infrastructure

SP10: Local Green Spaces

-  1. Vine Road
-  2. Village Green
-  3. Sefton Park
-  4. Recreation Ground
-  5. Decies Way
-  6. Penn Meadow

SP11: Local Access Network

-  Footpath
-  Bridleway
-  Key Locations

APPENDIX A – STOKE POGES SITE-SPECIFIC DESIGN CODES

Site-specific Design Codes

Stoke Poges

March 2024

CONTENTS

1.0 Introduction

2.0 The Stoke Poges neighbourhood plan

3.0 Site-specific Design Codes

3.1 Rogers Lane

3.2 Thames House

3.3 West End Court

3.4 Deans Close

3.5 Bells Hill Green

3.6 Neville Close

1.0 Introduction

What is a design code

The quality of design is key to successful, sustainable developments. Good design is not only concerned with the visual quality and layout of new developments but is also about 'place-making' as a whole and the contribution of development to the wider vision for a settlement.

A design code is a set of simple, concise, illustrated design requirements which set out parameters and the key criteria for the physical development of a site. Design codes provide clarity at the beginning of the design process on what is expected of a development, setting out requirements for how the resulting built environment will look and function, and respond to place-making opportunities.

Design codes are predominantly visual documents informed by the local community, local issues and community aspirations which take account of place-based evidence to allow a proper understanding of the area that will be affected by the development.

The design codes in this document are supplementary to the Stoke Poges Neighbourhood Plan and reference the neighbourhood plan policies that will need to be taken into consideration when preparing design proposals for the sites.

The design codes will be a material consideration for the planning authority during pre application discussions and when determining planning applications.

2.0 the neighbourhood plan

The Stoke Poges Neighbourhood Plan (SPNP)

The design codes have been drawn up alongside the Stoke Poges Neighbourhood Plan (SPNP) and reflect the identified local need for particular types of housing. The design codes have also been drafted to support the neighbourhood plan policies that seek to improve connectivity and sustainability.

The design codes provide guidance for six sites that were identified through the neighbourhood plan process as having potential to help meet local housing needs. The six sites (**Fig. 1 Sites Location Plan pg. 3**) are shown in the context of the settlements' facilities and amenities and the Local Access Network proposed in policy SP11 of the SPNP.

The design codes reference the neighbourhood plan policies that should be considered when preparing design proposals and guidance on layout and design.



Stoke Poges Local Centre



Stoke Poges Recreation Ground



Fig. 1 Site Location Plan

3.0 Design Codes

3.1 Rogers Lane

3.2 Thames House

3.3 West End Court

3.4 Deans Close

3.5 Bells Hill Green

3.6 Neville Close

3.1 Rogers Lane

Site Area: 0.266ha

Location: The Rogers Lane site is located in the centre of Stoke Poges on the northern side of Rogers Lane (**Fig. 2**). It is in a sustainable location with good pedestrian cycle connectivity, in close proximity to the village centre, the Sefton Park office campus and the amenities along Rogers Lane, including Stoke Poges School and Stoke Poges Recreation Ground.

There is an existing elderly care home on the site and a planning application was submitted in 2019 to redevelop the site for 12 homes. The application was refused due to not meeting the S106 requirement for affordable housing.

Brief: The SPNP wishes to achieve a higher density development on the site than the previous planning application to make best use of its central location. To achieve this a mix of housing and apartments should be considered with a focus on provision for starter and downsizer homes.



View of shared access road



Site frontage to Rogers Lane



Fig. 2: Rogers Lane Aerial Context

Constraints

Vehicle access **(A)** is off Rogers Lane, it is shared with an unallocated parking area **(B)** and the garage of property 107 Rogers Lane **(C)**.

Pedestrian access is available off Rogers Lane along the southern boundary **(D)**. The existing building line along Rogers Lane is setback around 10m behind a grass verge with a line of mature trees **(E)** which have amenity and ecological value, and contribute to the landscape character of the Rogers Lane street frontage.

Two existing pedestrian routes adjacent to the site create a north south connection between Rogers Lane and Bells Hill Green. One on the eastern boundary **(F)**, a narrow tarmac path enclosed by fences, is a Public Right of Way with Local Heritage Assets on the other side of the fence. The other, on the northern boundary connecting into Rogers Lane via the shared access **(G)** is an informal footpath. Both routes lack oversight but are important links to the school, recreation ground and other amenities.

The surrounding residential character is predominantly suburban, lower density with 2 storey detached and semi-detached dwellings of traditional style with red brick and clay tile being common materials. Building setbacks vary, but the grassed verges and mature street trees provide a consistent landscape character to the site's context.

The site is adjacent to the Stoke Poges West End Conservation Area **(H)** to the west. Higher density 1960s terraced housing backs onto the northern boundary with part of the site within a 21m overlooking distance **(I)**. There are residential gardens adjoining the site's eastern boundary.

The site has a south facing aspect **(J)**, but the trees along the southern boundary will limit the potential for PassivHaus design.



Fig. 3 Rogers Lane Constraints

Design Code

A layout designed as two blocks served by the existing vehicle **(A)** and pedestrian access **(B)** off Rogers Lane to a shared parking area **(C)** will be supported. The two existing footpaths adjacent to the site are to be retained **(D)** and integrated into the layout **(E)** to improve their setting, provide oversight and encourage their use.

The existing verge and mature trees along the southern boundary **(F)** are to be retained and protected to maintain the continuity of the street's landscape character.

Block A: A row of townhouses of up to 3 storeys, designed to create a positive frontage to Rogers Lane and oversight of the footpaths would be supported **(E)**. Off street parking to be provided and designed to have positive relationship to the rear of Block A and the frontage of Block B **(C)**.

Block B: Apartments or houses up to 2.5 storeys designed to maximise site capacity and provide smaller dwellings for downsizers/starter homes would be supported. Layout to provide oversight of the shared parking area **(C)** and footpaths **(D)**.

Layout and design to maintain the privacy for the existing properties to the north **(G)**.

Materials and character to respect the adjacent Stoke Poges West End Conservation Area and Local Heritage Assets.

Layout, orientation and roofscapes to optimise solar access **(H)** and PassivHaus design opportunities.

Buildings and open spaces to be designed to create habitats and meet Biodiversity Net Gain standards.

Parking provision to take account of central location and proximity to amenities, using the site's accessible location to maximise dwelling capacity.

Relevant NP Policies: SP1, SP4, SP5, SP6, SP7, SP9, SP11, SP12

Approximate Capacity: 10-15 dwellings

Recommended Dwelling Type: Downsizer/starter and townhouses

- Site Boundary
- - - Footpath
- Existing Trees
- Pedestrian Access
- Vehicle Access
- Positive Frontage
- Outlook



Fig. 4 Rogers Lane Design Code

3.2 Thames House

Site Area: 0.222ha

Location: The Thames House site is located on the western side of Bells Hill and is part of the local centre. The existing uses on the site are a car repair shop with workshops behind. Local amenities including the school, recreation ground, business park and surgery are within walking distance.

A planning application was submitted for the demolition of the existing car repair shop and construction of a 3 storey building with a new car showroom on the ground floor fronting onto Bells Hill and 2 storeys of 1 bed flats above. The workshops on the rear of the site were to be retained. The principle of development has been accepted under the PL/19/2119/FA but permission has not yet been issued as the sign off of a legal agreement for required financial contributions is being awaited.

Brief: The SPNP wishes to achieve a higher density development by encouraging the redevelopment of the whole site to make best use of its central location and access to amenities. To achieve a higher density a taller building on the Bells Hill frontage will be supported, with an additional building on the western part of the site appropriate to the adjoining residential scale. A scheme that makes provision for starter and downsizer dwellings will be supported.



Site frontage to Bells Hill



Public footpath along west boundary



Fig. 5: Thames House Aerial Context

Constraints

There is an existing vehicle/pedestrian access **(A)** on the eastern boundary off Bells Hill into the site. There are no pedestrian connections through the site to Bells Hill Green.

A Public Right of Way **(B)** which is also an access road to the adjacent garages, runs alongside the site's western boundary connecting Bells Hill Green with Rogers Lane **(C)** and the community facilities to the south. The layout and uses currently on the site provide no oversight or connection into this route.

The northern boundary adjoins an access/service road that serves the shopping centre **(D)**. The southern boundary adjoins the village hall car park and residential back gardens. The site is outside the 21m overlooking distance of the Local Heritage Assets **(E)**.

A perimeter boundary fence runs around the site which restricts access and creates an inactive frontage to Bells Hill. The site does not make a positive contribution to the vitality of the local centre.

There are trees along the southern boundary within the village hall car park, and the village hall a local heritage asset, otherwise the site is unobstructed with an orientation **(F)** that provides opportunities for a passive layout and design.

The eastern half of the site fronting onto Bells Hill is within the context of the local centre area which is of a larger scale than the surrounding residential area.

The western half of the site is within the 2 storey residential context of Bells Hill Green and Rogers Lane.

The whole of the existing site area is either built footprint or hardstanding. There are no landscape features of amenity or ecological value on the site.

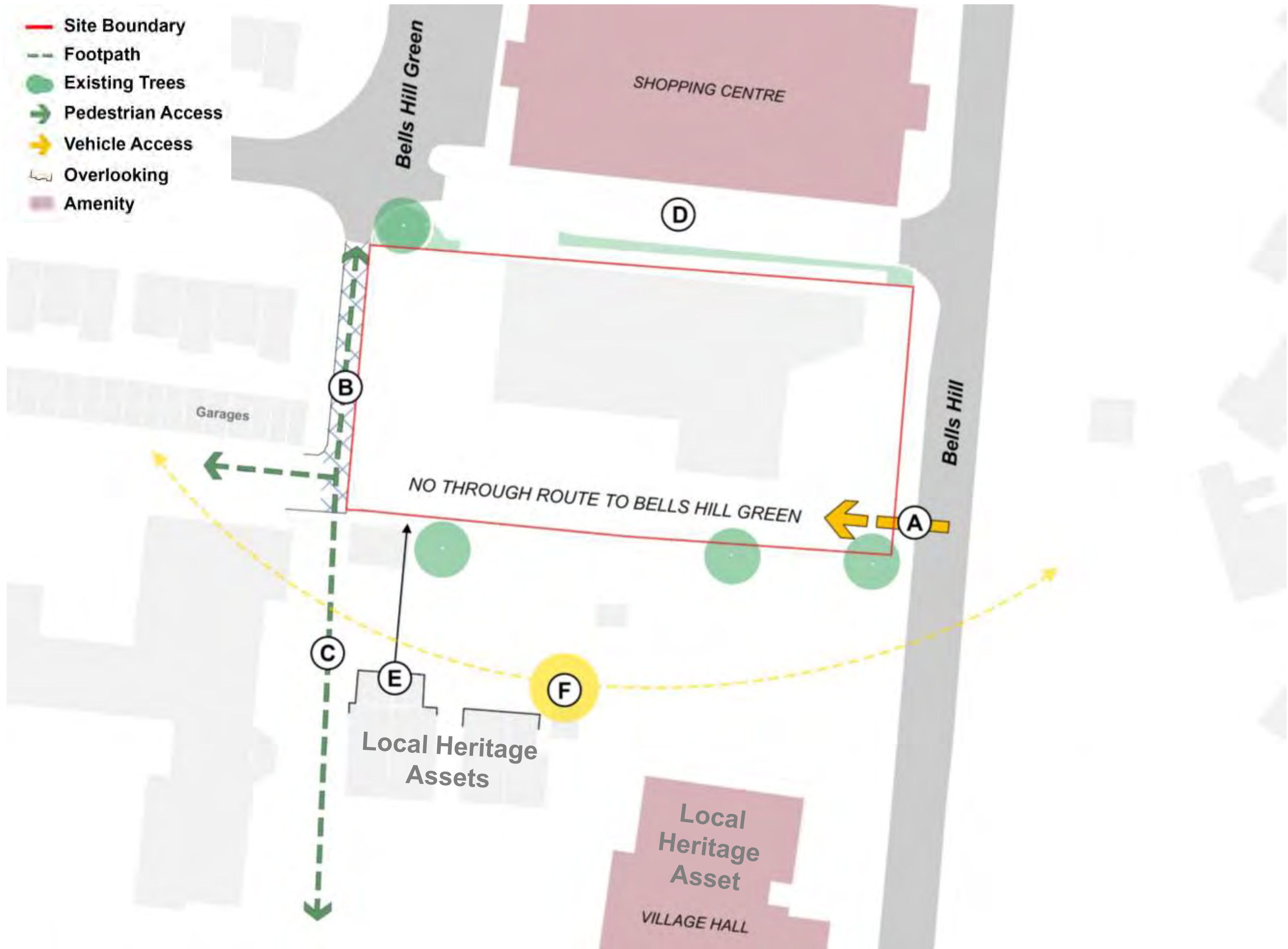


Fig. 6 Thames House Constraints

Design Code

A layout designed as two blocks served by the existing access off Bells Hill **(A)** with a shared parking area **(B)** will be supported. The layout should provide oversight of the existing footpaths and create a new east west pedestrian link **(C)** between the Bells Hill and the Bells Hill Green footpaths to encourage pedestrian travel.

Block A: 1 - 2 bed apartments of up to 3 storeys with the option for non-residential ground floor uses to support local centre activities. Building to have active frontage to Bells Hill Green **(D)** and a set back from the pavement line to create a positive pedestrian environment. Private amenity space to be provided on site.

NOTE: Whilst a 2 storey building was preferable 3 storeys has been deemed acceptable by Buckinghamshire Council, this set the baseline for the design code.

Block B: Apartments or houses up to 2 storeys designed to maximise site capacity and provide smaller dwellings for downsizers/starter homes. Layout to provide oversight of the shared parking area and footpaths **(E)**, and to maintain the privacy of the existing adjoining properties and back gardens.

The layout and building design of Blocks A and B to provide a landscape buffer **(F)** to the adjacent retail vehicle/service access and provide a positive relationship and oversight of the shared parking area.

Materials and character to respect the adjacent Local Heritage Assets.

Building layout, orientation and roofscapes to be designed to optimise solar access **(G)**.

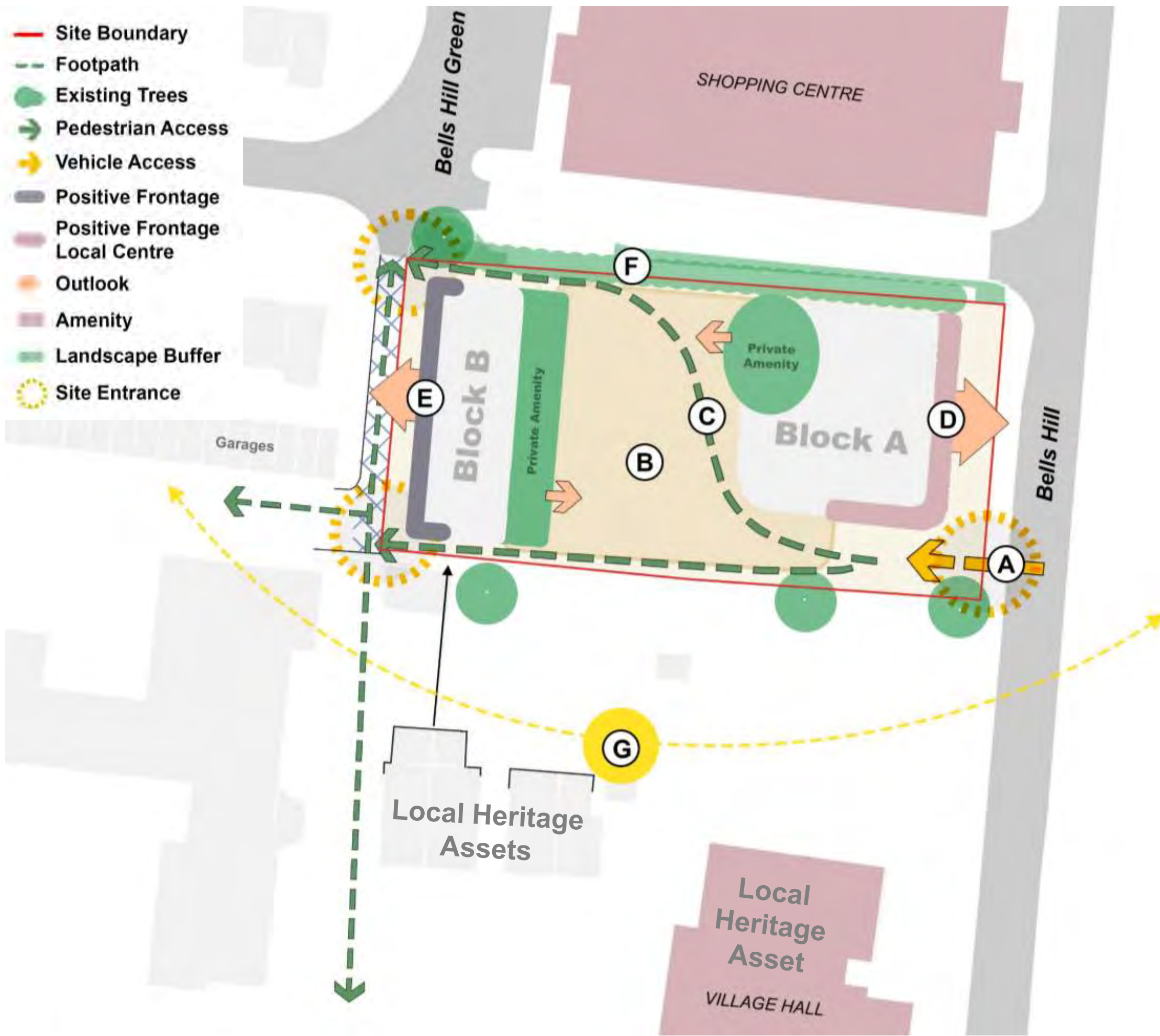
Buildings and open spaces to be designed to create habitat and meet Biodiversity Net Gain standards.

Parking provision to take account of central location and proximity to amenities, using the accessible location to maximise dwelling capacity.

Relevant Policies: SP1, SP4, SP5, SP6, SP7, SP9, SP11, SP12

Approximate Capacity: 12-16 dwellings

Recommended Dwelling Type: Downsizer/starter



3.3 West End Court

Site Area 1 :0.033ha

Site Area 2 :0.042ha

Site Area 3 :0.037ha

Location: West End Court is a mid 20th century housing development consisting of four T shaped 3 storey apartment blocks.

Its boundaries are well defined within the existing residential area by a densely planted perimeter which encloses West End Court from the surrounding residential amenity making it well suited to additional development.

A large proportion of the West End Court is open space and parking areas that are underutilised or without function. Three garage areas on the site are being considered for redevelopment as 1 – 2 bed starter and downsizer apartments.

Local amenities including Stoke Poges School, The Recreation Ground, and Village Centre are within a 5-10 minute walking distance.

Brief: The SPNP considers the site suitable for apartments of up to 3 storeys with a focus on provision for starter and downsizer dwellings should be considered.



Apartment block in West End Court



Garage site with sub station access



Constraints

There is an existing vehicle/pedestrian access **(A)** along the northern boundary off West End Lane into West End Court. Within are three garage sites **(1, 2 and 3)** of a similar layout.

A second pedestrian only access via Rogers Lane **(B)** creates a connection through West End Court to West End Lane and improves the permeability of an otherwise enclosed block of development.

A perimeter boundary of tall hedgerows and mature trees encloses West End Court, creating an inactive frontage to Rogers Lane and West End Lane and reduces opportunities for passive layout and design along the southern edge **(C)**

Site 1: is within a 21m overlooking zone of the existing apartment blocks to the north and south. The site backs onto the pedestrian access at Rogers Lane and a shared amenity green space for residents but does not connect through to them.

Site 2: is within a 21m overlooking zone of the existing apartment block to the west and houses at the southern boundary.

Mature trees along the southern and eastern boundaries provide screening **(D)** but may affect the layout of the development in terms of building heights, root protection zones and overshadowing.

Site access is shared with the substation located at the eastern boundary, this will need to be retained **(E)**.

Site 3: is within a 21m overlooking zone of the existing apartment block to the west and is adjacent to its shared amenity space.

On the eastern boundary is a residual green space with potential for improving amenity and ecological value **(F)**.

Mature trees along the southern boundary **(G)** provide screening from the existing residential amenity but may affect the layout of the development in terms of building heights, root protection zones and overshadowing.

Design Code

Apartment blocks of up to 3 storeys designed to maximise site capacity and provide 1 – 2 bed apartments will be supported. Each apartment will have a shared courtyard for amenity use and parking and a private balcony or porch.

Site 1: Layout and built form to take account of the privacy and amenity of adjacent apartment blocks and provide oversight **(A)** of the court space and footpath to Rogers Lane .

Provide a second site access via Rogers Lane footpath to improve accessibility **(B)**.

Site 2: Layout and built form to take account of the privacy and amenity of the adjacent apartment block and properties and provide oversight **(C)** of the court space and footpath to Rogers Lane.

Create a new pedestrian link through the site between Rogers Lane and West End Lane to improve permeability **(D)**.

Maintain vehicle access to the substation through the proposed courtyard **(E)**.

Site 3: Layout and built form to take account of the privacy and amenity of the adjacent apartment block and provide oversight **(F)** of the court space and surrounding green space.

Layout and design to incorporate the residual green space **(G)** into the landscape, amenity and biodiversity strategy for the development of the site.

Building layout, orientation and roofscapes to be designed to optimise solar access **(H)**.

Apartment blocks and open spaces to be designed to create habitat and meet Biodiversity Net Gain standards.

Parking provision to take account of central location and proximity to amenities, using the accessible location to maximise dwelling capacity.

NOTE: the site requires a site-specific design response and may be suitable for Custom Build.

Relevant Policies: SP1, SP4, SP5, SP6, SO9, SP11, SP12

Approximate Capacity: 5-10 dwellings

Recommended Dwelling Type: Downsizer/starter



Fig. 10 West End Court Design Code

3.4 Deans Close

Site Area: 0.083ha

Location: Deans Close is a backland garage site in Wexham Street. The local facilities that serve the area are Plough Lane Recreation Ground, Tubwell Stores convenience shop and The Stag pub which are within a 5 minute walk of the site. Stoke Poges with its more extensive facilities is 1.5km from the site and connected by a local bus service.

Brief: The SPNP supports the redevelopment of the site to deliver a housing scheme to meet local needs for starter and downsizer dwellings.



Existing row of garages within the site



Vehicle access to Deans Close



Fig. 11: Deans Close Aerial Context

Constraints

The Deans Close site is located at the end of the Deans Close cul de sac which provides vehicle access **(A)**. The site is occupied by two rows of garages with an access road between and a turning/manoeuvring area for vehicles site **(B)**.

There is a pedestrian access into the site via a path at the south west corner of the site which is a Public Right of Way **(C)** providing a connection between Deans Close and Plough Lane to the south. This footpath improves permeability, but it is enclosed by fences and lacks oversight from the surrounding properties. The site is enclosed by back garden boundaries with the garage blocks abutting the northern and southern boundaries.

The local context has a consistent mid-century suburban residential character with predominantly semi-detached housing with red brick and concrete roof tiles being common materials.

Parts of the southern edge of the site are within the 21m overlooking distance **(D)** and the windows to the gable elevation of the property overlooking the northern boundary look onto the site **(E)** with a grassed 5m offset which is typical of the separation between buildings for privacy.

Hedging to front garden boundaries and garden trees **(F)** provide a green approach along Deans Close to the site with the garages forming a visual stop end. The eastern boundary **(G)** includes existing hedging and trees.

The site has an unobstructed southerly aspect **(H)** with the potential for good solar access and passive design, but this will need to take account of the privacy and amenity of the adjoining back gardens and properties

- Site Boundary
- - - Footpath
- Existing Trees
- Pedestrian Access
- Vehicle Access
- Overlooking
- Vehicle Turning Area
- Existing Hedge Boundary

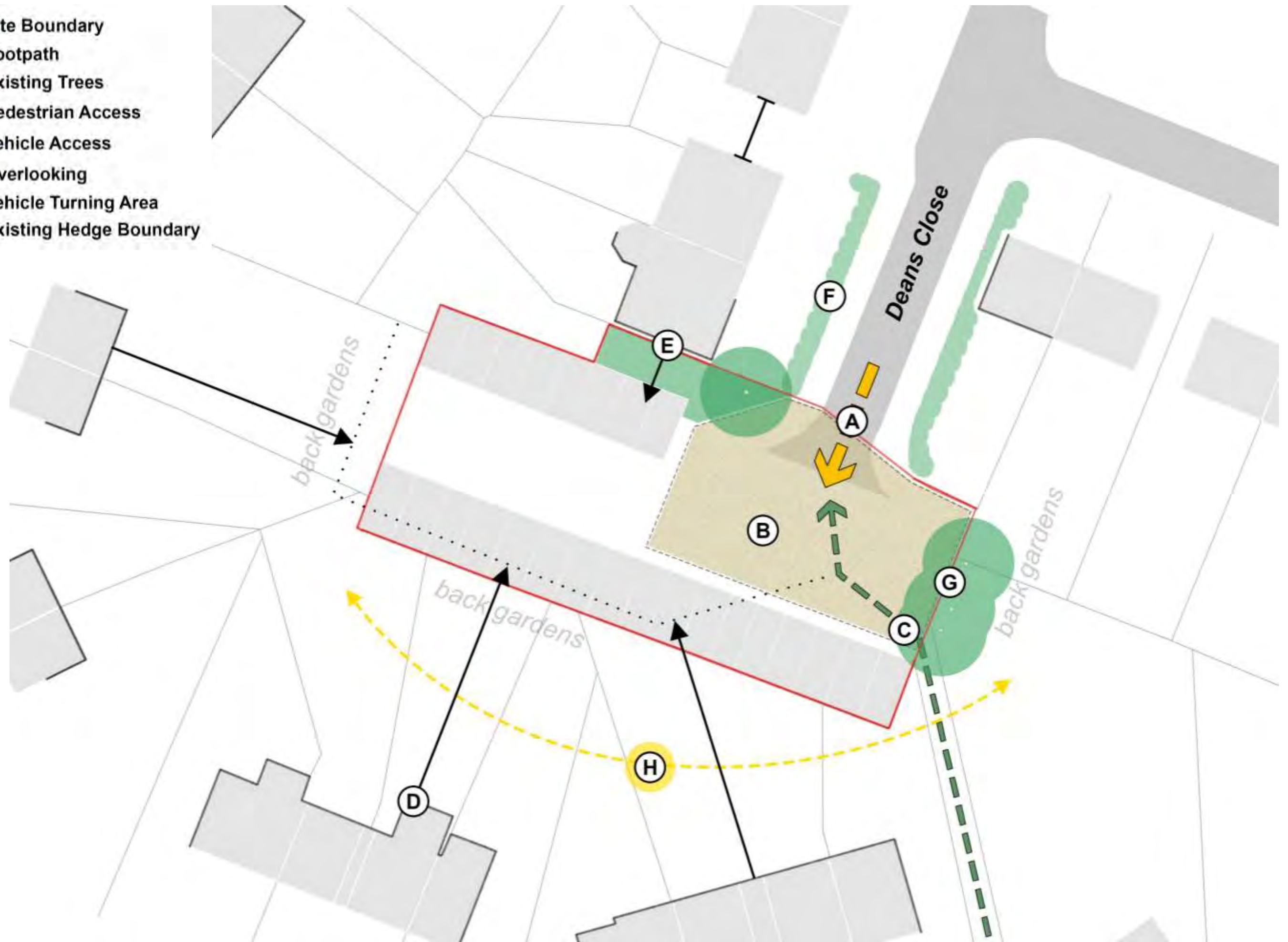


Fig. 12 Site 3.4 Constraints

Design Code

A layout designed to maintain the vehicle access off Deans Close **(A)** and create an attractive pedestrian friendly court **(B)** to connect the existing footpath **(C)** to Deans Close to encourage pedestrian travel will be supported.

Building design to include either apartments or houses with a preference for smaller dwellings suitable for downsizers/starter homes to meet local housing needs.

Development to make the best use of the site and maximise capacity at a scale in keeping with the context.

Layout and built form to take account of the privacy and amenity of adjacent properties and provide oversight **(D)** of the court space.

Green buffer **(E)** to the property adjoining the northern boundary to be maintained.

Layout and orientation of built form **(F)** to optimise solar access and opportunities for passive design.

Buildings and open spaces to be designed to create habitat and meet Biodiversity Net Gain standards.

Parking provision to take account of central location and proximity to amenities, using the accessible location to maximise site capacity.

NOTE: The site requires a site-specific design response. Custom Build proposals and alternative layouts to the illustrative design code plan that meet the code criteria are welcomed.

Relevant Policies: SP2, SP4, SP5, SP6, SP9, SP11, SP12

Approximate Capacity: 3-5 dwellings

Recommended Dwelling Type: Downsizer/starter and custom build

- Site Boundary
- - - Footpath
- Existing Trees
- ➔ Pedestrian Access
- ➔ Vehicle Access
- ▬ Positive Frontage
- ➔ Outlook
- Shared Courtyard
- Existing Hedge Boundary



3.5 Bells Hill Green

Site Area: 0.049ha

Location: Bells Hill Green is a backland garage site located in a residential area in the centre of Stoke Poges in close proximity to the local centre, the community facilities at Rogers Lane, and the Sefton Park office campus all of which are within walking distance.

Brief: The SPNP supports the redevelopment of the site to deliver a housing scheme to meet local needs for starter and downsizer dwellings.



Courtyard housing adjacent to the site



Site access from Bells Hill Green



Fig. 14: Bells Hill Aerial Context

Constraints

The Bells Hill Green site is located at the end of the Bells Hill Green cul de sac providing vehicle access **(A)** to the site which is occupied by a row of garages. A turning head adjacent to the access **(B)** is used as an unallocated parking area.

There is a pedestrian access **(C)** into the site, which is a Public Right of Way, via a path at the north western boundary corner providing a connection between Pennylets Green and Bells Hill Green. The path passes through a green area to the rear of 48 – 50 Pennylets Green.

The site is enclosed on its northern, eastern and southern boundaries by 2 storey courtyard houses with windows facing into the site **(D)** with potential overlooking issues.

The back gardens to 2 storey detached housing adjoin the sites western boundary **(E)** with potential overlooking issues, although there is an existing tree belt along this boundary **(F)** that provides screening.

The two areas of green space at the northern and southern ends of the site **(G)** have limited function or amenity value but provide an offset to the garage site and have potential for improving amenity and ecological value.

The site has a limited southerly aspect **(H)** and the combination of the adjoining buildings and trees on the western boundary will limit opportunities for passive design.



Fig. 15 Site 3.5 Constraints

Design Code

A layout designed to maintain the vehicle access off Bells Hill Green **(A)** and create an attractive pedestrian friendly route to connect the existing footpath **(B)** to Bells Hill Green to encourage pedestrian travel will be supported.

Building design to include either apartments or houses with a preference for smaller dwellings suitable for downsizers/starter homes to meet local housing needs.

Layout to protect the trees along the western boundary **(C)** and the privacy and amenity of adjoining properties.

The layout and design to provide a positive visual stop end **(D)** to the Bells Hill Green cul de sac, and oversight of the footpath link.

Parking provision to take account of the site's central location and proximity to amenities, using the accessible location to maximise site capacity.

Layout and design to provide oversight of the two areas of green space **(E)** and incorporate them into the landscape, amenity and biodiversity strategy for the development of the site.

Buildings and open spaces to be designed to create habitat and meet Biodiversity Net Gain standards.

Layout, orientation and roofscapes to optimise solar access **(F)**.

NOTE: the site requires a site-specific design response and may be suitable for Custom Build.

Relevant Policies: SP1, SP4, SP5, SP6, SP9, SP11, SP12

Approximate Capacity: 2-4 dwellings

Recommended Dwelling Type: Downsizer/starter and custom build



Fig. 16 Site 3.5 Design Code

3.6 Neville Close

Site Name: Deans Close

Site Area: 0.0433ha

Brief/Location: Neville Close is 1 of 3 backland garage sites owned by a housing association. It is in a residential area located at the north west corner of Stoke Poges, 1km from the local centre a 10-15 minute walking cycling distance. There is good access to the green spaces and walking routes north of Stoke Poges.

Brief: The SPNP considers the site suitable for housing or apartments with a focus on provision for starter and downsizer dwellings should be considered.



Existing building typology along Neville Close



The garage site and adjacent footpath



Fig. 17: Neville Close Aerial Context

Constraints

The Neville Close site is located at the end of the Neville Close cul de sac providing vehicle access **(A)** to the site which is occupied by garages. A turning head adjacent to the access **(B)** is used as an unallocated parking area.

There is a pedestrian access **(C)** which is a Public Right of Way running along the site's eastern boundary, providing a connection between Vine Road and Neville Close. The path is enclosed between garden fences and lacks oversight this makes for an unappealing pedestrian environment.

The site is enclosed by back gardens on western, northern and eastern sides. Parts of the site are within a 21m overlooking distance **(D)** which may impact on the design and layout of a scheme.

Mature trees alongside the site's eastern and western boundaries **(E)** may affect the layout of the development in terms of building heights, root protection zones and overshadowing.

There is a small area of grass **(F)** of no amenity function or ecological value which may have landscape potential as part of the development of the site.

The site has a southerly aspect **(G)** but the trees on the eastern and western boundaries will limit opportunities for passive design.

- Site Boundary
- - - Footpath
- Existing Trees
- Pedestrian Access
- Vehicle Access
- Overlooking



Design Code

A layout designed to maintain the vehicle access off Neville Close **(A)** and create an attractive pedestrian friendly route **(B)** between Vine Road and Neville Close to encourage pedestrian travel will be supported.

The layout and building design to protect the trees along the site boundary **(C)** and the privacy and amenity of adjoining properties.

Design to provide apartments or houses of up to 2 storeys to maximise site capacity with smaller dwellings suitable for downsizers/starter homes.

The layout and design to provide a positive visual stop end to the Neville Close cul de sac **(D)** , and oversight of the footpath link **(E)**.

Parking provision to take account of the site's central location and proximity to amenities, using the accessible location to maximise site capacity.

Buildings and open spaces to be designed to create habitat and meet Biodiversity Net Gain standards.

Layout, orientation and roofscapes to optimise solar access **(F)**.

NOTE: the site requires a site-specific design response and may be suitable for Custom Build.

Relevant Policies: SP1, SP4, SP5, SP6, SP9, SP11, SP12

Approximate Capacity: 2-4 dwellings

Recommended Dwelling Type: Downsizer/starter and custom build

- Site Boundary
- - Footpath
- Existing Trees
- ➔ Pedestrian Access
- ➔ Vehicle Access
- Positive Frontage
- ➔ Outlook



Development Framework **Sefton Park**

December 2023

1.0 Introduction

Introduction

The purpose of this document is to provide a development framework for Sefton Park to inform the neighbourhood plan and guide landowner engagement concerning the potential future redevelopment of the site.

Sefton Park was submitted to the Bucks call for sites 2021-2023 and whilst it is within the Green Belt it could still be redeveloped or undergo a change of use from employment to residential. In the short to medium term, the site's continued use as offices is supported.

This document therefore considers the redevelopment potential of the site to contribute to providing new housing to meet the needs of the parish, reinforce the village centre, and improve connectivity between Stoke Poges and Wexham Street.

The document sets out the key principles that any development of Sefton Park should consider in order to deliver the above and provides three options as a starting point for discussions with the landowner.



The Site

Site analysis:

Sefton Park is an office campus on 13.97 hectares of land that includes five standalone buildings and associated parking, a golf course and open green space (**Fig 2. Site context**). It sits between Stoke Poges and its local centre on Bells Hill and Wexham Street. There is currently no publicly accessible route through the office campus site to connect Stoke Poges to Wexham Street.

The site is enclosed by an established hedgerow and tree belt which provides an offset and buffer to the adjoining residential back gardens to the north, a landscape screen along the Bells Hill boundary, and an eastern perimeter to the golf course. It is a visually contained site with limited views into or across it which reinforces the separation between Sefton Park and Wexham Street. Moreover, it presents an inactive boundary to Bells Hill and the Stoke Poges local centre.

The site has been considered in three parcels:

Parcel A (5.02ha). Parcel A occupies the northern part of the site and contains the five buildings that make up the office campus. These are two to three-story detached office buildings facing onto a landscaped entrance feature with parking to the rear of the blocks. Along the northern boundary the landscape buffer is likely to be of ecological value and there are other trees within the site that may need to be considered.

Parcel B (7.47ha). Parcel B is the golf course on the southern part of the site which includes outdoor sports facilities with a clubhouse building and tennis courts. These are not publicly accessible facilities although a public footpath runs east-west across the southern part of this parcel linking Farthing Green Lane and School Lane to Bells Hill.

Parcel C (1.47ha). Parcel C is an enclosed mown green field located at the northeast corner of the Business Park with access from the parking areas and a boundary to School Lane.

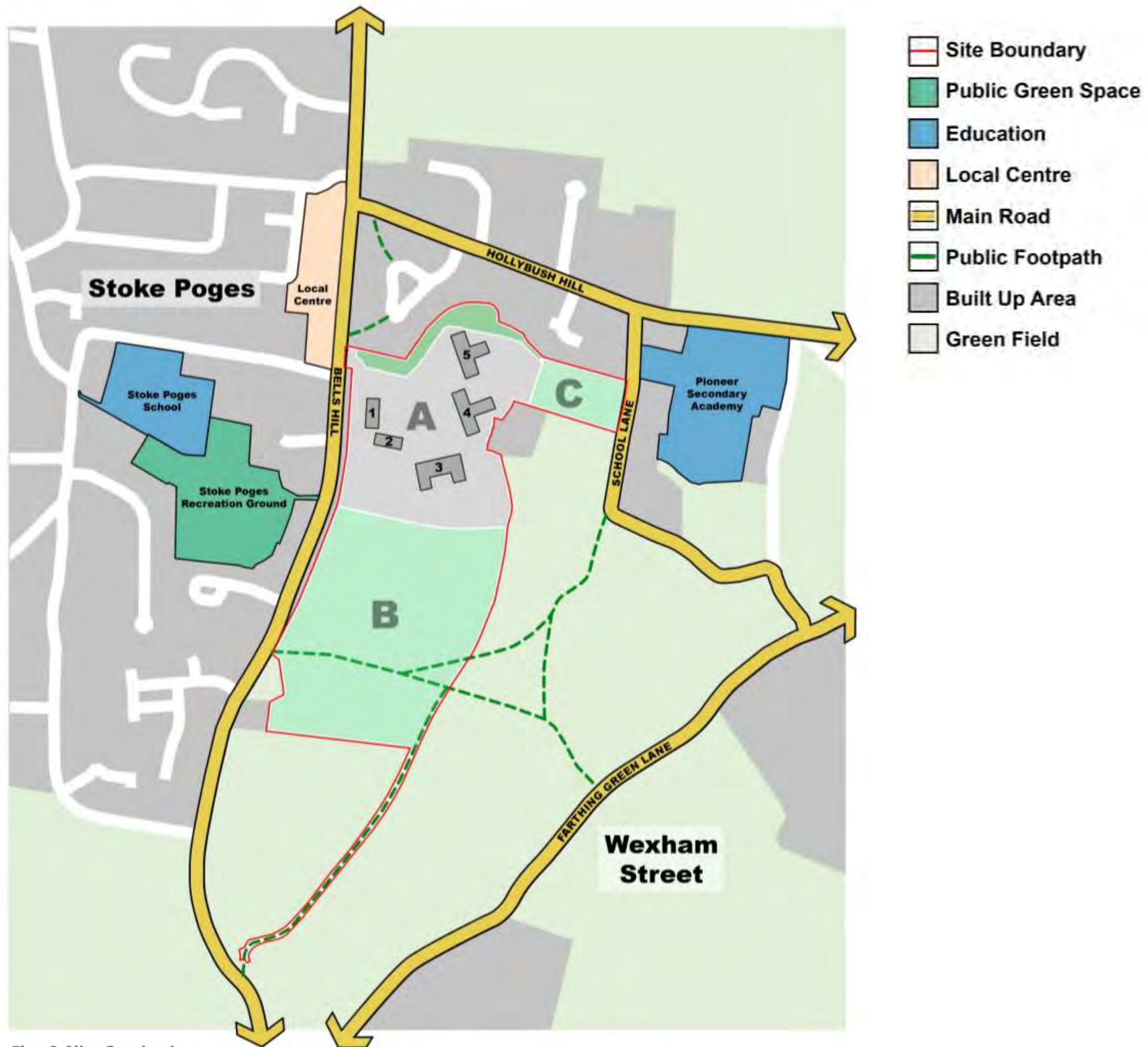


Fig. 2 Site Context

Constraints

Constraints:

The following constraints (**Fig 3. Constraints**) will need to be considered:

Access: There is an existing vehicle access off Bells Hill opposite the Village Hall at the northern boundary serving the office campus with an additional secondary/access to the sports facilities to the south. There is no through route for vehicles or pedestrians onto School Lane.

Flood: Sefton Park is within Flood Zone 1, indicating a low risk of fluvial flooding although it is in an area of medium to high surface water flood risk which runs north south across the campus and golf course.

Heritage: There is a Grade II Listed building within the office campus referred to as Sefton Park. This structure originally an 18th-century country house, underwent conversion into offices in 1948 and continues to serve this function. The grounds to the south of this building overlook the golf course and form part of its setting and will be a material consideration for any proposals.

There are two Grade II Listed buildings in close proximity to the site area: the Stoke Poges and Wexham Elementary Schools (1876) on School Lane, and Chiltern house at the corner of Bells Hill and Decies Way a 17th century home, which may also be a material consideration.

Topography: The site is relatively flat with a gentle slopes from north to south, giving a 1:40 fall of approximately 15 meters over a distance of 600 meters.

Green Belt: The whole of the site is washed over by the Green Belt which restricts development.

Landscape and ecology: Although there are no landscape or ecological designations there are features on the site which have landscape value and form part of the local biodiversity corridors.



Fig. 3 Constraint Plan

Development Framework

Development Framework:

The four principles of the Development Framework (**Fig 4. Development Framework**) set out below are designed to improve connectivity, reinforce the sense of place, create opportunities for uses to support the local centre and provide new homes for the parish.

1. improving connectivity Any proposals should seek to improve east west-pedestrian and cycle connectivity between Bells Hill and School Lane, subject to feasibility and deliverability.

2. local centre Any proposals should seek to create an active frontage to Bells Hill to integrate Sefton Park with the local centre.

3. a sense of place Any proposals should seek to deliver a mix of uses to support the function of the local centre in a coordinated manner or comprehensively, subject to market demand and deliverability.

4. new homes Any proposals should seek to meet the housing needs of Stoke Poges.

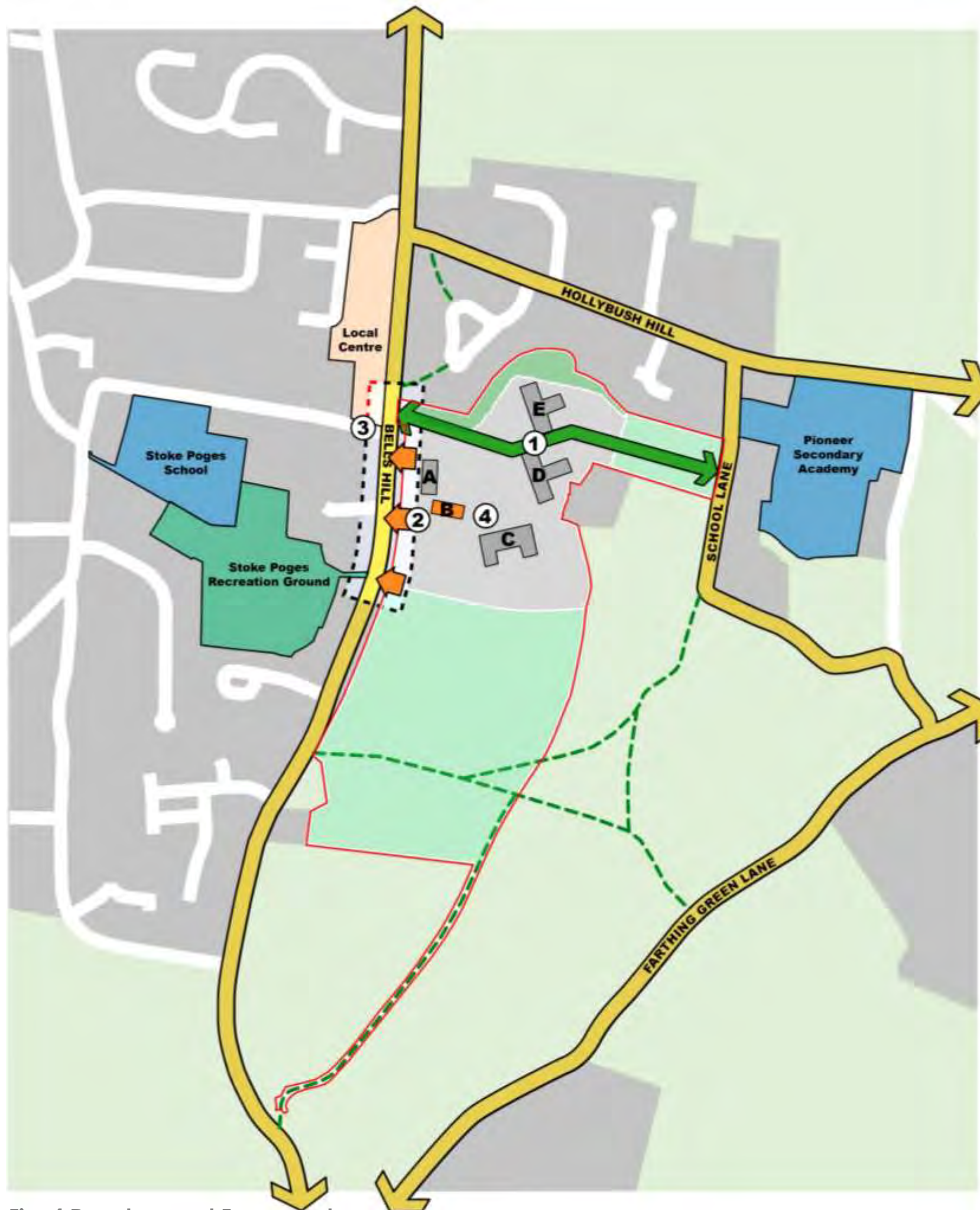
Development Options:

In considering options an analysis of the layout and size of the existing buildings has been carried out based on information available through OS and aerial mapping. These areas will need to be validated.

Given the Green Belt restrictions, the three options below have been limited to built development on Parcel A (**5.02ha**) only and are intended as a starting point for discussions with the landowner and for the parish council to consider how this could fit into the neighbourhood plan.

The three options cover the spectrum from minimal change to complete redevelopment and are a capacity testing exercise to understand the maximum number of dwellings achievable if all buildings were converted to residential use based on **2 bed 4p flats @ 70m² nifa**. Within each option there will be a number of sub options for retention of some of the buildings for employment use.

The provision of parking amenity space and the type of residential development will be key factors in determining capacity, along with the constraints given the Green belt setting.



-  Site Boundary
-  Public Green Space
-  Education
-  Local Centre
-  Main Road
-  Public Footpath
-  East West Link
-  Active Frontage
-  Local Centre Focus

**Schedule of existing buildings
Floor area**

- Building A (2floors) = 685m²
- Building B (2floors) = 558m²
- Building C (3floors) = 1765m²
- Building D (2floors) = 1535m²
- Building E (2floors) = 1490m²

Development Principles

- ① Improving Connectivity
- ② Local Centre
- ③ A Sense of Place
- ④ New Homes

Fig. 4 Development Framework

Option 1

Option 1: Conversion

This option is for the Change of Use of the existing buildings to apartments and delivers **146** 2 bed apartments across 5.02ha giving a density of **29dph**.

Pros

- Minimum change to existing buildings
- Flexibility to mix between residential/employment
- Retains/recycles existing buildings
- Conversion vs new build costs
- Programme and disruption
- Phased approach
- Achieve east west link
- Frontage to Bells Hill
- Impact on listed building

Cons

- Lacks oversight of the east west link at east end of site
- Limited oversight and interaction with west boundary
- No additional floor space



Fig. 5 Option 1

Option 2

Option 2: Conversion and new build extension

This option is as Option 1 but with the addition of new build wings and dormer conversion of the roof spaces to increase capacity and delivers **313** 2 bed apartments across 5.02ha giving a density of **62dph**.

Pros

- Increased floor space
- Flexibility to mix between residential/employment
- Achieve east west link
- Increased Frontage to Bells Hill
- Oversight of east west link at east end
- Opportunity for purpose built functions
- Retains/recycles existing buildings

Cons

- Impact on listed building B
- New development in green belt harder to pass
- Impact on existing residential buildings to north
- Parking provision
- Layout restricted by existing buildings



FIG. 6 OPTION 2

Option 3

Option 3: New build

This option involves demolition and construction of purpose built blocks to provide new residential accommodation. For this option the site has been considered as three independent parcels with only Parcels B and C demolished and rebuilt and Parcel A retained and converted/extended as in Option 2 because of the listed Building status. The capacity of Parcels B and C is based on a maximum density of 100 dph to take account of the Green Belt setting and constraints on height and massing.

Based on these assumptions, this option delivers **393** 2 bed apartments across 5.02ha giving a density of **78dph**.

Pros

- Maximise development
- Flexibility in layout design
- A layout that is led by the development principles
- Setting of listed building
- New buildings better suited to functions
- Flexibility in functions/mix

Cons

- Cost of demolishing existing buildings
- Loss of employment use
- Impact on green belt

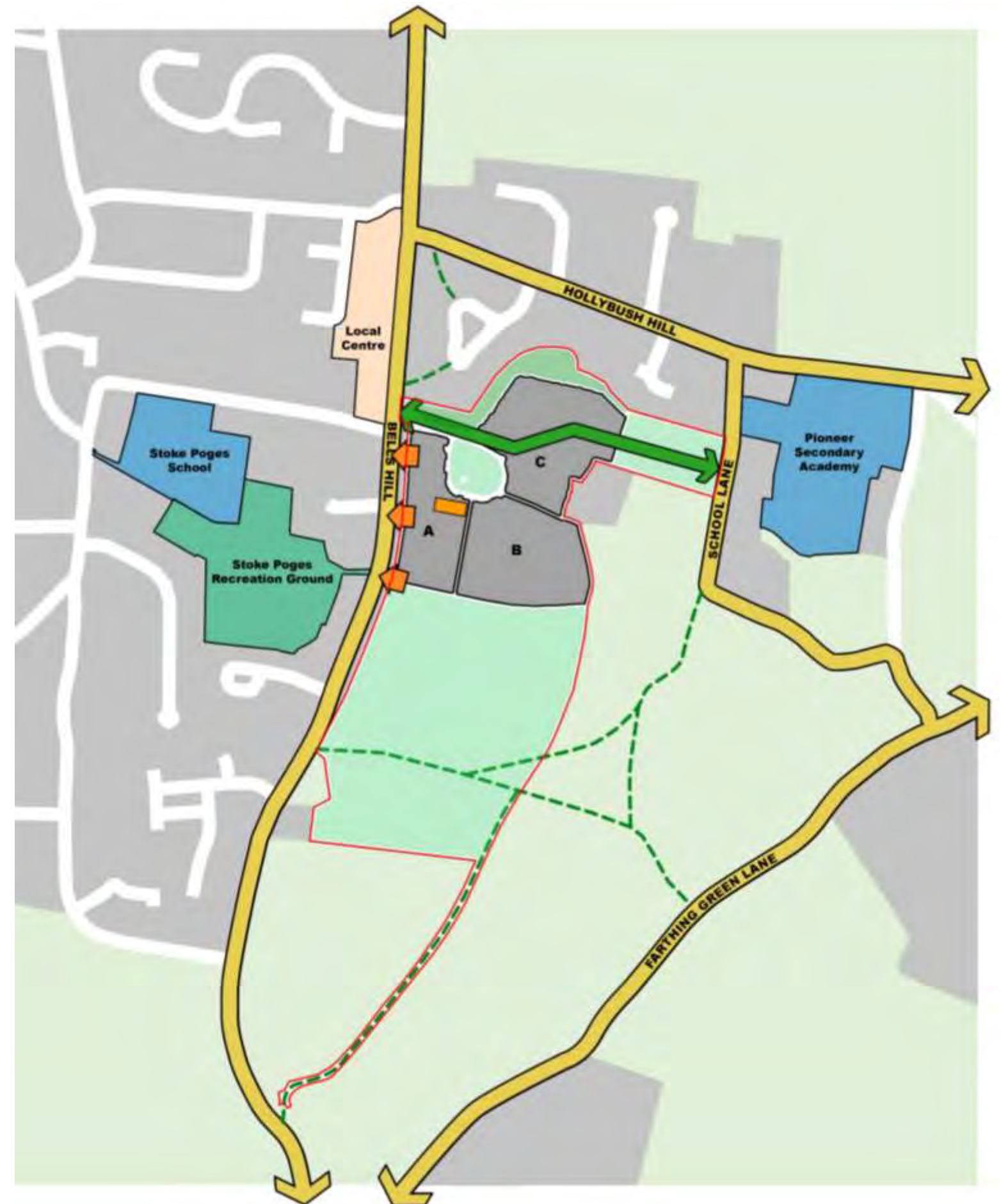


Fig. 7 Option 3

Summary

Summary

- In the short to medium term, the site's continued use as offices is supported.
- Development has been limited to the existing development footprint in Parcel A in response to Green Belt constraints.
- Additional development outside the footprint may be possible, such as in Parcel C but this has not been included at this stage.
- All three options are capable of delivering the benefits of the Development Framework.
- The amount of residential for all options will depend on the amount of retained employment use.
- All options provide flexibility for the landowner to decide the mix according to their commercial interests.
- It would be premature to recommend an option or fix a design or layout at this stage.
- The provision of parking amenity space and will be key factors in determining capacity,
- Impacts on the Green Belt setting will be a constraint and all options are in keeping with existing heights and massing.
- The 2 bed apartment type has been used to calculate maximum numbers, but a more mixed residential scheme including care/sheltered and larger dwellings is likely to deliver more value.

Recommendations

- It is recommended that the landowner/developer for Sefton Park hold talks with SPPC (Stoke Poges Parish Council) early in the development of any proposals for the site to discuss the objectives of the development framework.
- Any planning application for Sefton Park should demonstrate how the development principles in this framework have been taken into consideration.
- The four key principles to be considered are:
 1. Improve east west connectivity
 2. Create an active frontage along Bells Hill to support the local centre
 3. Provide non residential uses to support the functions of the Stoke Poges local centre
 4. Any proposals should seek to create opportunities for new homes to meet the needs of the parish.
- Development Option 1 and Option 2 are SPPC's preferred options for Sefton Park as they deliver the four key principles whilst retaining the existing buildings to minimize environmental impacts.

APPENDIX C – POST OCCUPANCY EVALUATION GUIDANCE

This guidance note sets out how Post-Occupancy Evaluation (POE) should be undertaken and is derived from published guidance and best practice.

1. Post-Occupancy Evaluation (POE) is the method of obtaining feedback on a building's energy performance 'in use', to ensure it measures up to the commitments made by the team that designed and built it. It offers significant potential to address the performance gap and occupant satisfaction.
2. Where a monitoring regime to ensure the 'as designed' building performance targets are achieved in practice for all new and refurbished buildings is required, it is important that data is collected robustly, following good practice POE principles. It is therefore recommended that for residential development the POE methodology in section 11.4 of the Home Quality Mark ONE: Technical Manual: England, Scotland & Wales SD239 (2018)⁵⁸, or as updated, is used as a guide for meeting this requirement. For non-residential buildings the BSRIA Soft Landings and Design for Performance framework (BG 76/2019), or as updated, may be used.
3. Applicants are required to set out in their Energy Statement how their monitoring regime, based on the HQM, BSRIA or similar methodology, will work in practice and be independently verified by a third party. The Energy Statement to be submitted with the planning application.
4. As each new or refurbished building comes into use, the developer must ensure performance monitoring and data collection for all relevant parameters for one whole year is carried out once the building is substantially occupied, in line with good POE practice for residential or non-residential uses. This verification process should entail, after appropriate commissioning has taken place, comparison of the 'as designed' parameters (energy, carbon, air quality and overheating risk) to monitoring data under the same categories, to assess and compare actual performance.
5. In order to account for seasonality, a minimum of 12 months monitoring data is required. On the other hand, to account for actual weather, the modelling results can be adjusted with degree days for the relevant year. A 'performance gap metric', which will compare designed and actual performance (e.g. a percentage difference) for each of the 4 required parameters (energy, carbon, air quality and overheating risk) should be issued at POE stage. This needs to be issued for both the 'central' scenario and the 'lowest acceptable performance /reasonable worst-case scenario' as a minimum, with multiple scenarios considered if at all possible. The process and reporting methodology used for the POE will need to be repeatable, so that performance can be monitored for at least 2 annual space heating cycles.
6. A report will then be required to be submitted to both building owners/occupiers and to Council, which states the performance gap metric and identifies any reasons for deviation from predicted energy usage, carbon emissions, indoor air quality and overheating performance, as well as recommendations for

reasonable corrective action that will be taken to reduce or eliminate the performance gap.

7. The submission of the monitoring report to owners/occupiers and the council must be secured by planning condition, to be determined at the time of application based on case-specific factors. The applicant must demonstrate that the reasonable corrective actions committed to in the monitoring report, and subsequently agreed by Buckinghamshire Council, have been implemented through another annual heat cycle before the condition will be discharged.

STOKE POGES

Design guidance and codes

Final report
January 2024

Quality information

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4	20.09.2023	Final report	Lavenya Parthasarathy	Graduate Urban Designer
3	08.09.2023	Third draft following review by the steering group	Lavenya Parthasarathy	Graduate Urban Designer
2	05.09.2023	Second draft following review by the steering group	Lavenya Parthasarathy	Graduate Urban Designer
1	02.08.2023	First draft	Lavenya Parthasarathy	Graduate Urban Designer

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INTRODUCTION

01

1. INTRODUCTION

1.1 PURPOSE AND PROCESS

The design guidelines and codes set out in this report will provide a detailed framework that should be followed by any future design proposals that come forward within the town to ensure it meets a consistent, high quality standard of design and positively contributes to the unique character of Stoke Poges.

It is intended that this report becomes an integral part of the Neighbourhood Plan by informing policies that will influence the design of new development and have weight in the planning process.

The following steps were agreed with the Neighbourhood Plan Steering Group to produce this report, which draws upon policy development and engagement work undertaken by the Group.



Figure 01: Diagram illustrating the process to preparing this design guide.

1.2 POLICY CONTEXT

This section outlines the national and local planning policy and guidance documents that have influenced, and should be read in conjunction with this design guide.

2023



National Planning Policy Framework (NPPF)- Department for Levelling Up, Housing and Communities (DLUHC)

Relevant national planning policy is contained within the NPPF. The NPPF was updated in December 2023 to include reference to the National Design Guide and National Model Design Code and the use of area, neighbourhood and site-specific design guides. Paragraph 131 states that: "The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this."

2021



National Design Guide - DLUHC

The National Design Guide sets out the government's ten priorities for well-designed places and illustrates how well-designed places can be achieved in practice. The ten characteristics identified includes: context, identity, built form, movement, nature, public spaces, uses, homes and buildings, resources and lifespan. The Guide also reinforces the National Planning Policy Framework's objective in creating high quality buildings and places. The document forms part of the government planning practice guidance.

2020



Building for a Healthy Life - Homes England

Building for a Healthy Life updates Homes England's key measure of design quality as the national housing accelerating body. The document sets out 12 considerations for creating integrated neighbourhoods distinctive places and streets for all. While it is not part of the national policy, it is recognised as best practice guidance and design tool in assessing the design quality of developments.

2021



National Model Design Code - DLUHC

The draft National Model Design Code provides guidance on the production of design codes, guides and policies to promote well-designed places. It sets out the key design parameters that need to be considered when producing design guides and recommends methodology for capturing and reflecting views of the local community.

2007



Manual for Streets - Department for Transport

Development is expected to respond positively to the Manual for Streets, the Government's guidance on how to design, construct, adopt and maintain new and existing residential streets. It promotes streets and wider development that avoid car dominated layouts but that do place the needs of pedestrians and cyclists first.

2010



South Bucks Townscape Character Study - South Bucks District Council

The character study explores each Neighbourhood Area's urban grain, townscape character, and identifies features of conservation interest. The report allows the townscape character of urban areas to be understood, through mapping and through description of variations in physical and cultural elements.

2008



Residential Design Guide SPD - South Bucks District Council

The Residential Design Guide SPD is split into two parts: Part A Design preparation sets out principles of urban design. It offers guidance on selecting the site, provides a site analysis checklist and plan. Part B Design practice lists guidance on urban structure and layout, building design, natural environment, sustainable building, and advice on submitting a planning application.

2011



Stoke Poges Conservation Area Appraisals -

South Bucks District Council

The Conservation Area appraisals outline the boundary of each Conservation Area, describe the location and setting, origins and historical development, and set out character analyses on the streetscape, uses, spaces, trees and greenery, views and buildings.

1.3 AREA OF STUDY

The Neighbourhood Area of Stoke Poges is a civil parish located in the county of Buckinghamshire, 2.7 miles north of Slough and within 20 miles from Central London.

The Neighbourhood Area consists of four settlements: West End, Stoke Green, Wexham Street and Hollybush Hill. The village centre is home to a number of amenities, including the village green, primary school, churches, doctor's surgery, a post office, and other shops. The boundary of the parish is defined by the Green Belt, which characterises the landscape setting.

The Neighbourhood Area is affluent with higher-than-average levels of owner-occupation and car ownership. Stoke Poges was deemed as Britain's eighth richest, and Buckinghamshire's third richest village, by the Daily Telegraph, in 2011.¹

The villages of Buckinghamshire are often seen as attractive places to live - a combination of surrounding countryside, centres filled with independent shops, characterful historic buildings and a strong sense of community often give them a unique sense of character. This lifestyle within close proximity to London makes the villages extremely desirable places to live.



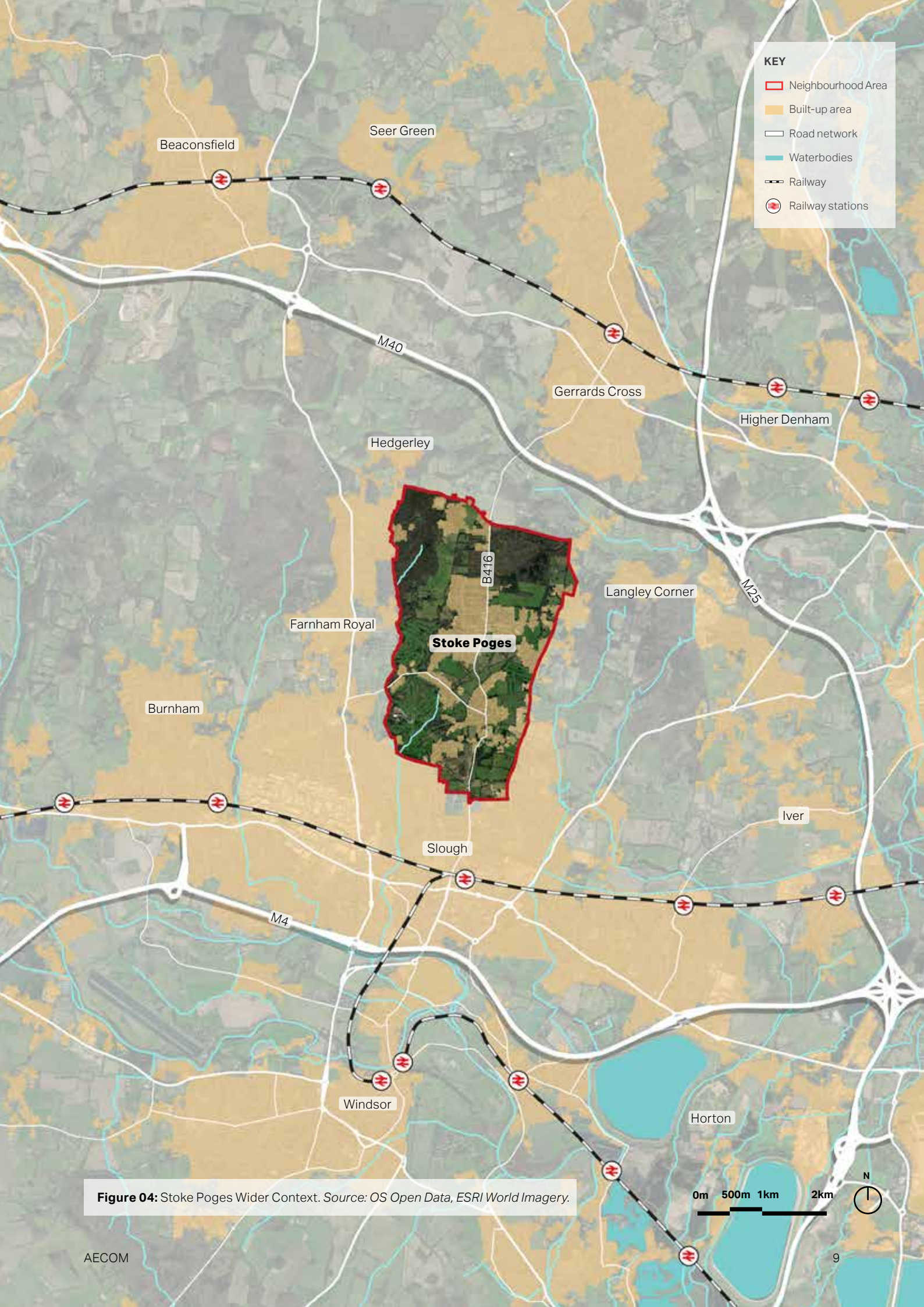
Figure 02: Stoke Poges Village Green.

- STOKE POGES NEIGHBOURHOOD AREA
- ◐ FORMER SOUTH BUCKS DISTRICT
- BUCKINGHAMSHIRE COUNTY



Figure 03: Neighbourhood Area within the context of Buckinghamshire County.

¹ <https://web.archive.org/web/20110905033339/http://www.telegraph.co.uk/property/luxuryhomes/8410974/Britains-richest-villages.html>



KEY

- Neighbourhood Area
- Built-up area
- Road network
- Waterbodies
- Railway
- + Railway stations

Figure 04: Stoke Poges Wider Context. Source: OS Open Data, ESRI World Imagery.

A photograph of a traditional white cottage with a thatched roof. The house has a prominent chimney on the left side and several windows with dark frames. A large teal circular graphic is overlaid on the center of the image, containing the text 'LOCAL CHARACTER ANALYSIS' and the number '02'.

LOCAL CHARACTER
ANALYSIS

02

2. LOCAL CHARACTER ANALYSIS

This section presents a snapshot of the Neighbourhood Area today to inform the design objectives of the Design Guidance and Codes. It provides an overview of Stoke Poges’s heritage, landscape and movement network.

2.1 HISTORY AND HERITAGE

Stoke Poges is a historic settlement with mentions in the Domesday Book of 1086, and referred to as ‘Stoche’. The village was later named with the affix ‘Poges’, after the family that owned the manor in village in the 13th century.

The manor house at Stoke Poges was first built before the Norman Conquest (11th century). The original fortified house was largely replaced with a Tudor style brick-build in 1555 by the owner at the time, Francis Hastings, 2nd Earl of Huntingdon. Over the years, the house has played host to a number of members of the Royal Family. In 1601, Queen Elizabeth I was entertained at the manor by Sir Edward Coke, the then owner of the house. In 1647, Charles I was imprisoned at the manor before his execution.

The famous poet Thomas Gray’s ‘Elegy Written in a Country Churchyard’ is said to have been written in the graveyard of the church in Stoke Poges in 1750. After his death in 1771, he was buried at St Giles’ churchyard at Stoke Poges, where a monument was erected in 1799 outside the Grade I listed church, in honour of the poet.

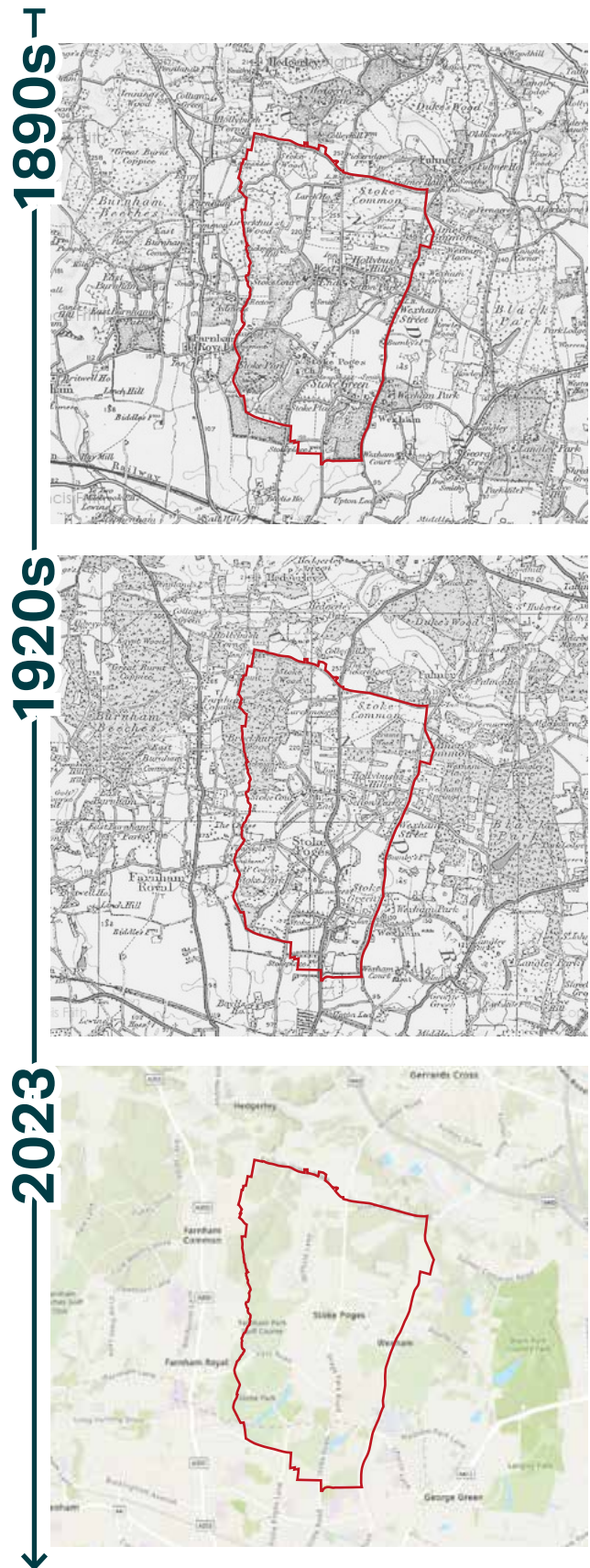


Figure 05: Historic map timeline of Stoke Poges from 1897, 1920 (source: Francis Frith Collection), to 2023.

CONSERVATION AREAS

The Stoke Poges Neighbourhood Area contains four designated Conservation Areas:

- Stoke Poges West End; designated 2011
- Stoke Park; designated 1987
- Stoke Green; designated 1987
- Framewood Road; designated 2011

The Conservation Areas have significant archaeological interest relating to the prehistoric barrow, medieval and post-medieval manor, medieval church, deer park, and post-medieval designed landscape. Each of the Conservation Areas has unique defining features, including: building types, materials and details, plot layout, tree-lined streets, hedgerows, and open spaces. Please refer to the Conservation Area Appraisals for more information.¹

SCHEDULED MONUMENT

There is one Scheduled Monument within the Neighbourhood Area:

- Bowl barrow in Stoke Park Playing Field, 400m south of Stoke Park House; first listed 1933.

Bowl barrows are funerary monuments dating from the Late Neolithic period to the Late Bronze Age, with most examples belonging to the period 2400-1500 BC. Please refer to the listing on Historic England for more information.²

¹ <https://www.buckinghamshire.gov.uk/planning-and-building-control/heritage/conservation-areas-in-buckinghamshire/>

² <https://historicengland.org.uk/listing/the-list/list-entry/1009477>

1890s



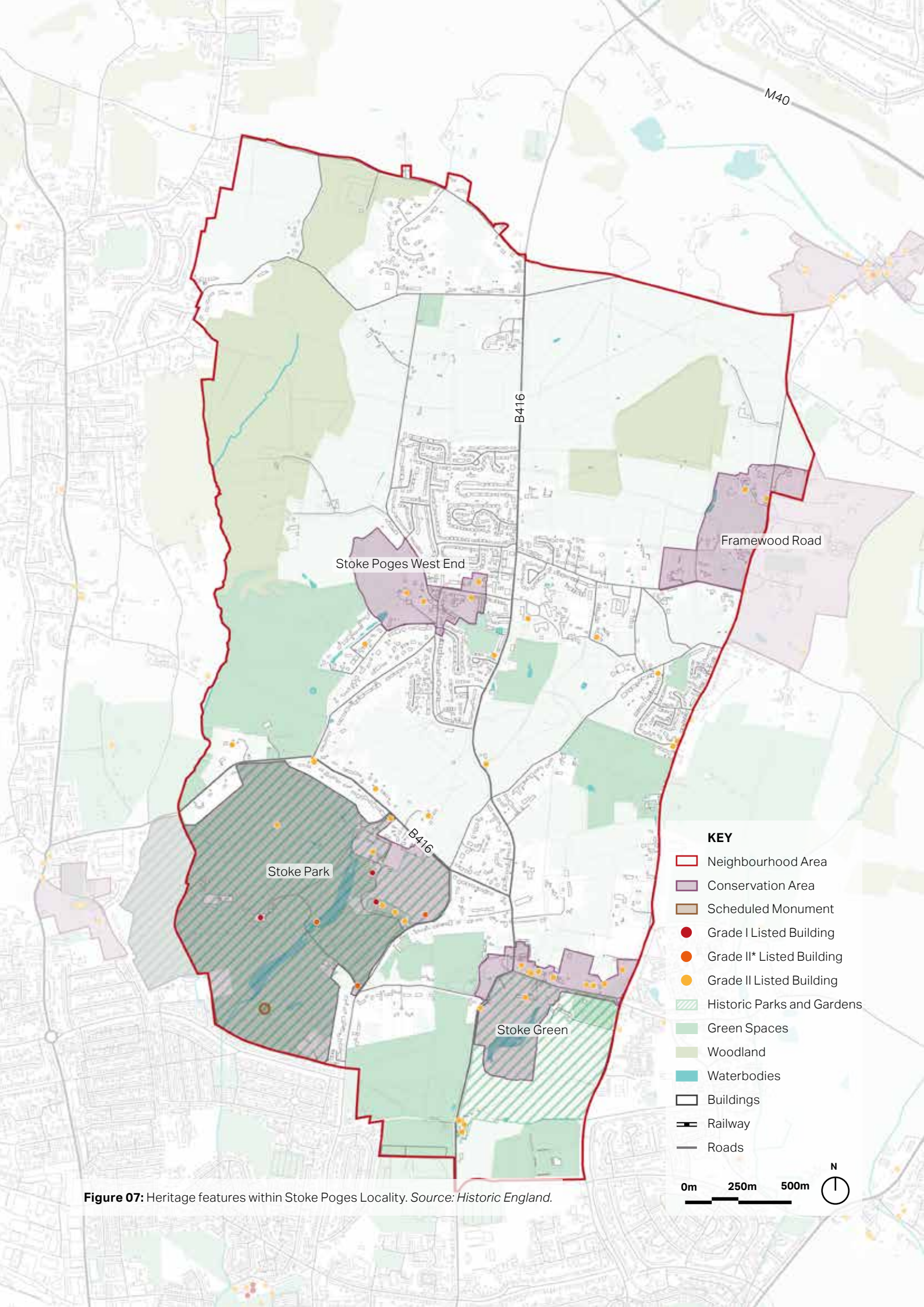
1920s



2023



Figure 06: Historic pictorial timeline of St Giles, Church (Grade I listed); from 1895, 1929 (source: Francis Frith Collection), to 2023.



M40

B416

Stoke Poges West End

Framewood Road

B416

Stoke Park

Stoke Green

KEY

- Neighbourhood Area
- Conservation Area
- Scheduled Monument
- Grade I Listed Building
- Grade II* Listed Building
- Grade II Listed Building
- Historic Parks and Gardens
- Green Spaces
- Woodland
- Waterbodies
- Buildings
- Railway
- Roads

0m 250m 500m



Figure 07: Heritage features within Stoke Poges Locality. Source: Historic England.

LISTED BUILDINGS

Considering Stoke Poges' rich heritage, there are various listed buildings designated within the Neighbourhood Area. Among the 46 listed buildings, 40 are Grade II, 3 Grade II*, and 3 Grade I listed.¹ Some notable listed buildings can be found below:

- **Church of St. Giles (Grade I)**; originally listed 1955. Parish church. C12-C16. Flint rubble and red brick.
- **Stoke Park (Grade I)**; originally listed 1955. Designed for John Penn by Robert Nasmith, 1789. Stuccoed. Balustraded core of 3 storeys and 7 bays.
- **Stoke Park Bridge, Repton Bridge (Grade II*)**; originally listed 1955. Built 1798. Stone faced, comprising three semicircular arches, divided by piers.
- **Manor House (Grade I)**; originally listed 1955. Circa 1550 altered. Red brick; old tile roof; prominent chimney stacks in groups of 3 or 4 octagonal cut brick shafts.
- **Church Cottage (Grade II)**; originally listed 1985. C16 much extended. Red brick with modern plain tile roof.
- **Stoke Place (Grade II)**; originally listed 1955. Central section completed in 1698, the wings added circa 1755. More additions of C19 to left and right.

¹ <https://historicengland.org.uk/>



Figure 09: Stoke Park, Grade I listed.



Figure 08: Stoke Park Bridge (Repton Bridge), Grade II* listed.



Figure 10: Church Cottage, Grade II listed.



Figure 11: Stoke Place, Grade II listed.



Figure 12: Manor House, Grade I listed,

- **Lych gate, stone and flint wall (Grade II)**; originally listed 2022. Built 1887, carved lych gate with flanking walls.
- **Arbory Cottage (Grade II)**; originally listed 1985. C17 altered and restored. Red-blue brick; old tile roof.
- **Elegy House (Grade II)**; originally listed 1985. Formerly listed as St Giles' Vicarage. Built 1802-4 by James Wyatt.
- **Rustic arch formerly belonging to Stoke Court (Grade II)**; originally listed 2013. Probably dates from C19. Flint rubble set in lime mortar.
- **Former Stoke Poges First School, School Lane (Grade II)**; originally listed 1985. Dated 1878 village school. Red brick and stone with blue bands in gables and plain tile roofs.



Figure 13: Lych gate and attached stone and flint wall at Church of St Giles, Grade II listed.



Figure 14: Arbory cottage, Grade II listed.



Figure 15: Elegy House, Grade II listed.
© anonymous contributor. Source: Historic England



Figure 16: Former Stoke Poges First School, Grade II listed.
© Nigel Cox. Source: Historic England



Figure 17: Rustic arch, Grade II listed.
© anonymous contributor. Source: Historic England

2.2 LANDSCAPE AND ECOLOGY

LANDSCAPE SETTING AND STATUTORY DESIGNATIONS

The Neighbourhood Area lies on the dip-slope of the Buckinghamshire Chiltern hills. Around 76% of the parish is covered by green spaces, much of which are mixed woodlands.¹

Stoke Common is an 80-hectare ecological Site of Special Scientific Interest (SSSI). The area is managed by the City of London, which also manages the nearby Burnham Beeches. Stoke Common is the largest remaining area of heathland in Buckinghamshire County. It is home to ancient beech pollards, heathland, ponds, ground nesting birds, rare and diverse habitats, and surrounding beautiful, scenic sites.

GREEN INFRASTRUCTURE

The parish is home to a number of public open spaces, and several recreational facilities such as playing fields and other sports facilities, allotments, and a network of public rights of way that runs through the neighbourhood. The town's close proximity to open countryside and footpaths in all directions helps create a sense of openness.



Figure 18: Stoke Park.



Figure 19: Stoke Green.



Figure 20: Gray's Field, National Trust.

¹ Please refer to Chapter 2: Location, context, & setting from the Stoke Poges West End Character Appraisal

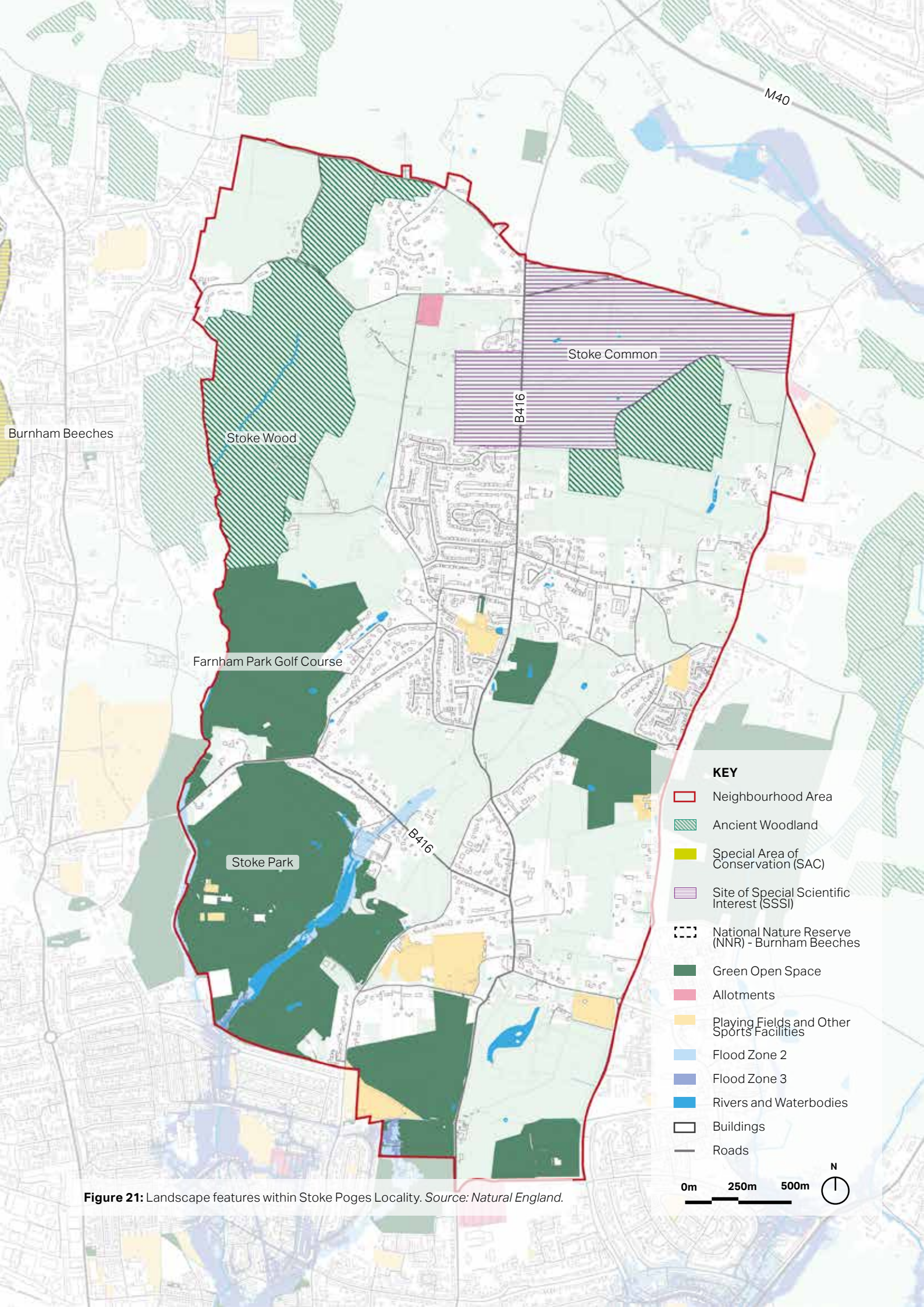


Figure 21: Landscape features within Stoke Poges Locality. Source: Natural England.

GREEN BELT

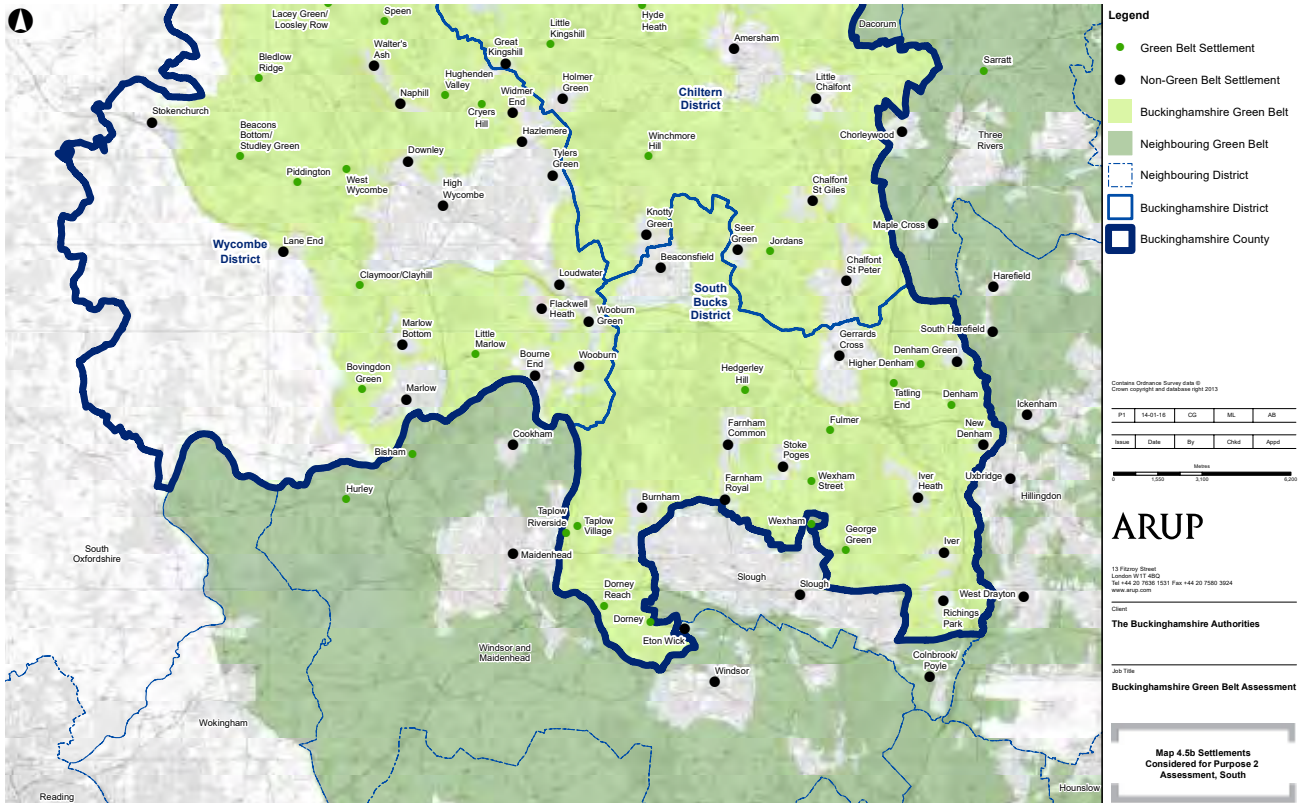
The Buckinghamshire Green Belt was first designated in 1954, and has since proved an effective tool in maintaining urban growth, and protecting the countryside.

Please refer to the Buckinghamshire Green Belt Assessment for more information.¹

The five Green Belt purposes set out in the NPPF are listed below:

- **Purpose 1: to check the unrestricted sprawl of large built up areas;**
- **Purpose 2: to prevent neighbouring towns from merging into one another;**
- **Purpose 3: to assist in safeguarding the countryside from encroachment;**
- **Purpose 4: to preserve the setting and special character of historic towns;**
- **Purpose 5: to assist in urban regeneration by encouraging the recycling of derelict and other urban land.**

¹ <https://www.buckinghamshire.gov.uk/planning-and-building-control/strategic-planning/green-belt-assessment/>



Green Belt Settlement and Non-Green Belt Settlement areas with the context of Buckinghamshire Green Belt. Map extract from 'Buckinghamshire Green Belt Assessment'.



Figure 22: Open greenfields view, end of private road off Stoke Green Road.



Figure 23: Influences from the Green Belt can be seen throughout the streetscape.

2.3 ACCESS AND MOVEMENT

ROADS

The parish is serviced by the B416, which runs centrally through the settlement giving access to the M40 via the Beaconsfield Interchange to the north and the A4 to the south. A number of amenities are situated along Rogers Lane, such as the village hall, primary school and St. Andrew's church.

Traffic congestion and the use of heavy goods vehicles through the village are concerns for residents. The remaining interconnected network of minor roads in the village is formed of residential and country lanes.

WALKING AND CYCLING

There is a good network of footpaths and public rights of way (PRoW) throughout the parish which offers pedestrian connections between the villages and into surrounding rural landscape.

There are minimal cycling routes throughout the Neighbourhood Area with no National Cycle Network routes and few local cycle lanes.

PUBLIC TRANSPORT

The closest railway station to the Neighbourhood Area is at Slough, which benefits from the Elizabeth Line, which goes into Central London within 35 minutes.

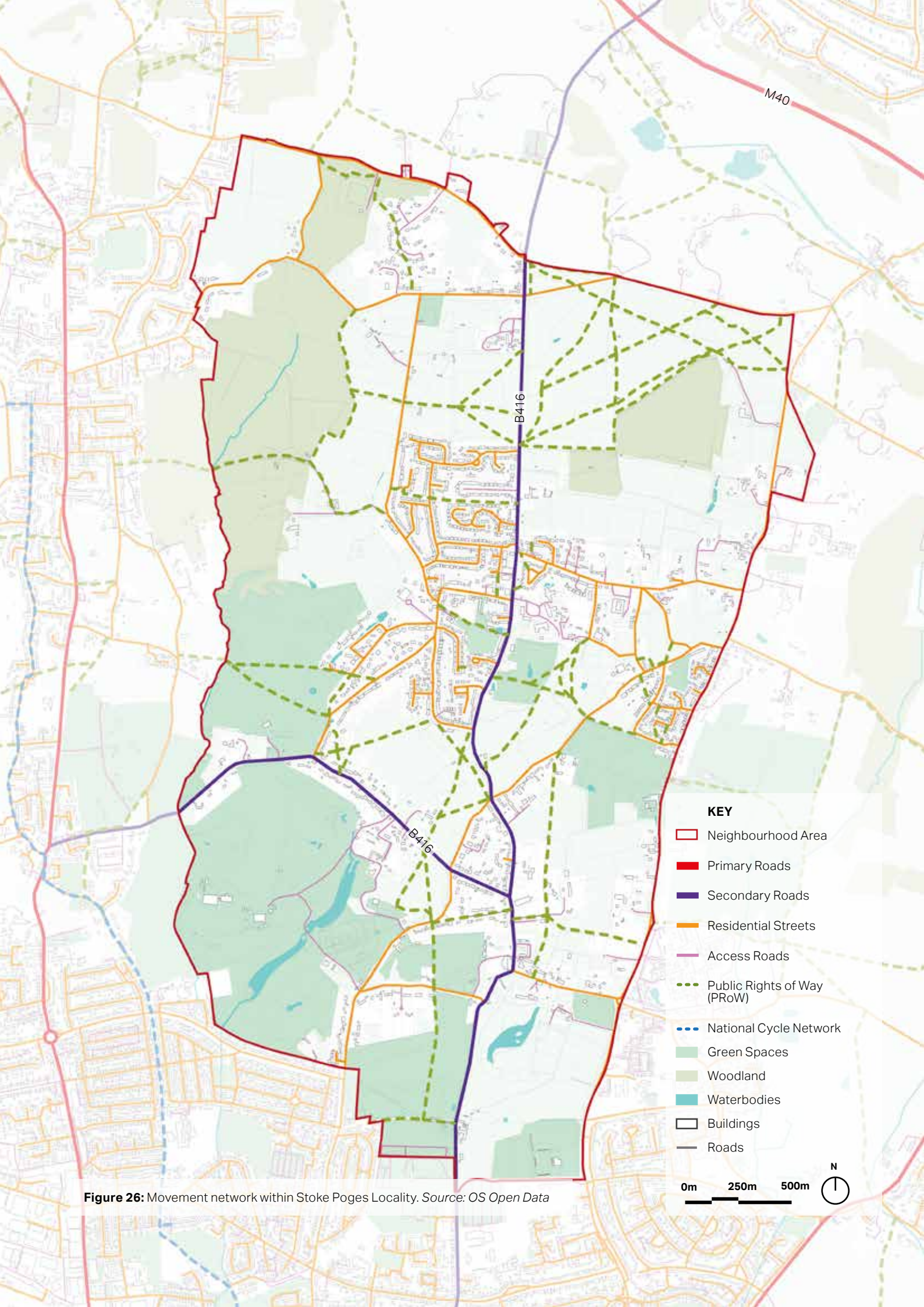
Bus connectivity from Stoke Poges to surrounding settlements is limited. There is a direct bus from Slough to Pennylets Green, Stoke Poges which takes 30 minutes, while the same journey would take only 12 minutes by car.



Figure 24: Church Lane, leading to the Church of St. Giles.



Figure 25: B416 - Stoke Green Junction.



KEY

- Neighbourhood Area
- Primary Roads
- Secondary Roads
- Residential Streets
- Access Roads
- Public Rights of Way (PRoW)
- National Cycle Network
- Green Spaces
- Woodland
- Waterbodies
- Buildings
- Roads

0m 250m 500m

N
⊕

Figure 26: Movement network within Stoke Poges Locality. Source: OS Open Data



Figure 27: Templewood Lane, heavily wooded on either side of the road - connects to neighbouring the Farnham Royal parish.



CHARACTER STUDY

03

3. CHARACTER STUDY

This section outlines the character areas of Stoke Poges. These areas vary in character primarily due to their location, setting, and period of development.

3.1 CHARACTER AREAS

The Neighbourhood Areas character areas may be considered in five groups. These character areas have been listed and defined on the plan, overleaf.

The character areas were informed by the context of the Neighbourhood Area, and represent underlying characteristics which are influenced by the location and period of development.

1

VILLAGE CENTRE

Covers the core of Stoke Poges village and the Stoke Poges West End Conservation Area in this location.

2

STOKE PARK RESIDENTIAL

Includes the Stoke Park Conservation Area, and the surrounding residential development.

3

STOKE GREEN RESIDENTIAL

Covers the Stoke Green Conservation Area, and the areas of development which has grown around it.

4

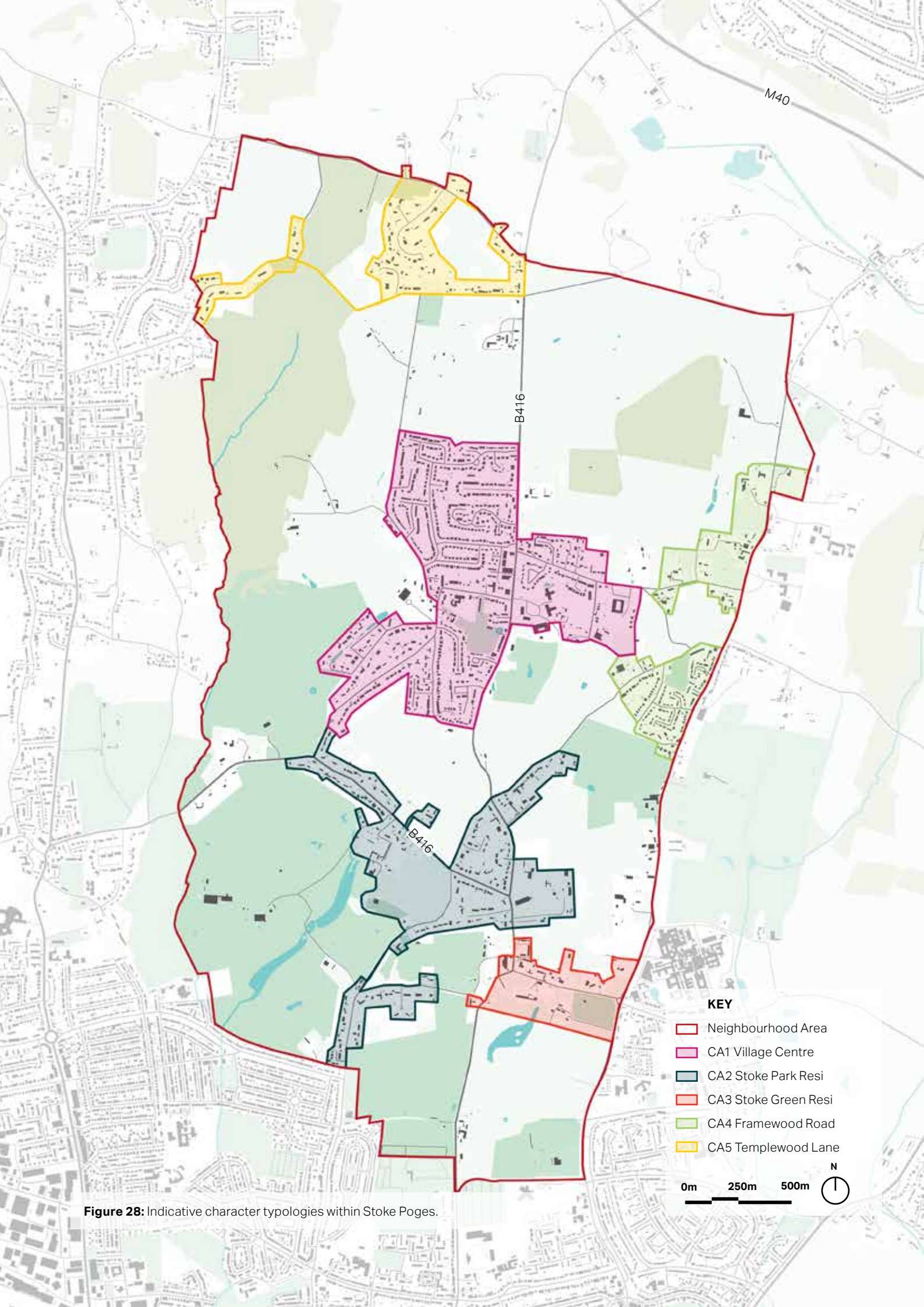
FRAMEWOOD ROAD

Covers the Framewood Road Conservation Area, and the surrounding residential development.

5

TEMPLEWOOD LANE

Area at the north of the parish, and formed by the Templewood Lane.



M40

B416

B416

KEY

- Neighbourhood Area
- CA1 Village Centre
- CA2 Stoke Park Resi
- CA3 Stoke Green Resi
- CA4 Framewood Road
- CA5 Templewood Lane

0m 250m 500m



Figure 28: Indicative character typologies within Stoke Poges.

CA1 VILLAGE CENTRE



The Stoke Poges Village Centre character area (CA) has formed around the historic house of Stoke Court. The character area contains the core settlement of Stoke Poges and contains the 'Stoke Poges West End' Conservation Area. The Bells Hill road (B416) runs the north-south length of the parish. The commercial area lies to the west and includes the village hall, while to the east lies the secondary school and residential streets.

Figure 29: Examples of architectural styles within the CA.

Land use	Largely residential, alongside St Andrew's Church; village hall; recreation ground; primary and secondary school; shops; allotments, and health clinic.
Pattern of development	This character area is the present main village center which has developed around the house of Stoke Court, and the historic buildings at Rogers Lane, and West End. Developments are generally set into smaller cul-de-sacs which branch off from residential streets.
Building line/plot arrangement	The building lines are uniform with the frontages facing the streets, mainly consisting of detached and semi-detached houses. There are some examples of terraced houses and apartments at the village centre, at Bells Hill Green and Pennylets Green. The residential plots are typically well set back from the streets with large driveways, and substantial back gardens.
Boundary treatment	Boundary treatments consist of hedges and low brick walls which matches the façade. There are also some examples of timber close-board fencing, which can be seen scattered throughout the character area.
Heights & roofline	Buildings are typically two-storey developments with consistent rooflines.
Public realm	Largely traditional residential streets, with footpaths and grass verges on either side. High hedgerows and some street trees that provide enclosure and privacy.
Materials	Mainly red brick, with some examples of yellow brick and sections of white render. Red and black clay roof tiles.

Table 01: Characteristics of the Village Centre Character Area



CA1 Stoke Poges Village Centre Character Area breakdown analysis. Character typologies and below text from the South Bucks Townscape Character Study¹

¹ https://southbucks.gov.uk/media/4785/Townscape-Character-Study-Part-1/pdf/Townscape_Character_Study_part_one_Chris_Blandford_Associates_2010.pdf

CA1.1 Hazell Way Residential Area

- Situated in the north of the settlement, this high-density housing estate, built in the mid-twentieth century, has a strong sense of unity with continuous rows of similar houses lining interconnected, residential streets;
- There is a mix of detached and semi-detached houses, with small housing blocks located to the north of the area;
- Houses are closely spaced and have front and rear gardens. The building line is relatively consistent, and the houses give enclosure to the street;
- Many front gardens have not been paved, whilst others contain car parking;
- Belts of deciduous trees within back gardens mark the boundaries with adjacent housing developments;
- Narrow grass verges are also a characteristic feature.

CA1.2 Clevehurst Close and Freemans Close Residential Area

- A low-density development of large, detached houses within spacious gardens (wide plots);
- Houses are laid out along two cul-de-sacs to the west of Gerrards Cross Road;
- At the eastern edge of the area, housing overlooks open fields;
- The houses adjoining Clevehurst Close are individually designed whereas those of Freemans Close were built in the 70s as an American style open plan frontage development in two stages with all houses being in a similar style;
- Front and rear gardens are a feature of this area, with houses facing the street;
- Mature deciduous trees within gardens are also a feature.

CA1.3 Stoke Court Drive Residential Area

- This low-density area at the southwestern edge of the settlement encompasses large, detached houses set out on irregular, spacious building plots;
- The unifying feature of the area is the large scale of detached homes with large front gardens providing separation from the street. Trees, hedges, and planting within front gardens provide green edges to the streets.

CA1.4 Rogers Lane Residential Area

- A series of high-density inter-war detached and semi-detached houses with small front gardens and long narrow rear gardens line historic lanes in this area;
- Houses are grouped around small greens along Penn Meadow and Decies Way;
- At the eastern edge of the area, to the east of Bells Hill Road and the south of Rogers Lane, houses overlook open fields;
- Semi-detached houses are the most common form, although detached houses, short rows of housing, and apartment blocks also feature. The age and style of buildings vary between different developments and there is a range of different sized buildings;
- Most dwellings have front and rear gardens;

- Rogers Lane is an original section of the village containing listed poor house, Uplands, 99 Rogers Lane, the original village hall and originally shops prior to construction of Bells Hill plus workers cottages.

CA1.5 Gerrards Cross Road Residential and Commercial Area

- The area lies at the centre of the settlement and contains a mix of buildings performing different functions;
- Detached houses line through roads along part of their length, whilst infill housing developments based around cul-de-sacs are also a feature;
- This area contains a mix of different sized buildings including large commercial buildings and office blocks;
- Larger civic and commercial buildings including the village hall, shops and a doctor's surgery form a discrete group adjacent to Bells Hill;
- Factory or workshop-type buildings and car parks are accommodated on deep plots within blocks;
- This area also contains the recreation ground which is bordered by back gardens;
- Buildings are of various ages with recent redevelopment occurring between Bells Hill and Bells Hill Green.

CA1.6 Sefton Park Commercial Area

- A modern business park is set within the landscaped grounds of a historic house;
- The formal, open lawns behind the house have been retained with development focused to the front and side of the original building;
- Three large buildings of consistent design are grouped around an area of open parkland landscape containing several mature trees;
- Extensive car parking areas are located to the rear of the buildings;
- Hedges or narrow tree belts surround much of the development;
- A series of smaller buildings are situated at the eastern edge of the site;
- To the east, this area abuts three small open fields.
- Gardens back onto Gerrards Cross Road, however deciduous trees and other planting soften the boundary;
- A series of mature trees situated within private gardens lines Hollybush Hill and creates a wooded character.
- The area also contains the listed original school in School Lane and several small rural lightly developed lanes, Chapel Lane and Hockley Lane, originally outlying part of the original village.

CA1.7 Hollybush Hill Residential Area

- This low-density area lies at the eastern edge of Stoke Poges and straddles Hollybush Hill road;
- Settlement pattern comprises, large, detached houses set out along Hollybush Hill, with smaller infill housing estates, which employ a cul-de-sac street layout;
- The area contains a school and school grounds with wooded boundaries;
- Houses are predominantly detached although semi-detached and short terraces are also present;
- Properties tend to have large gardens particularly to the rear of the dwelling, creating a low housing density;

Special Townscape Qualities

Within Stoke Poges, the following key features are considered to be sensitive to change/desirable to safeguard:

- The settlement pattern of low-density housing within Townscape Character Areas 2, 3 and 7 which encompass a series of detached and semi-detached houses, often set within large plots;
- Areas of wooded parkland surround the settlement and provide a sense of enclosure;
- Occasional historic, listed buildings;
- Stoke Common Site of Special Scientific Interest at the northern edge of the settlement, which is designated as a remnant heathland and provides landscape setting;
- The historic buildings and settings of Stoke Court at the western edge of the settlement.



LOCAL HERITAGE BUILDINGS WITHIN THE VILLAGE CENTRE CHARACTER AREA

Image	Location	Property	Asset Type	Special Local Interest
	Aldridge Place	9	Detached residential house	Built in the 1890s to replace the pub which was nearer to Stoke Court. It was called the Dog and Pot public house and a licence to operate was first granted in 1899 which resulted in the closure of a near adjacent Oddfellows Arms beer house. The pub closed down and change of use was granted in 2012 to become a dwelling house. The whole site was developed into residential properties but retaining the main pub building to form one substantial residential dwelling. The property is located in the West End Conservation Area and as such is the most prominently visible property in the main road through the Conservation Area. The Character Appraisal report for the Conservation Area completed for the South Bucks District Council refers to it, 'as a good example of an Arts and Crafts style public house'
	Bells Hill	Sefton Park Cottages	Terrace of Cottages	Cottages built on the land forming part of the Sefton Park estate. 1938 shown on map as part of Sefton Park Farm with row shown. But no trace on 1875 maps. Word of mouth from old resident, that they were built by the local building firm of Hartley and Sons of Wexham after WW1 for staff working on the surrounding Sefton Park estate.
	Broom Hill	24	Detached Residential house	Formerly known as Thatch End - Known to have had a thatch roof and built as a group of detached properties by the local quality builder of William Hartley & Sons (Wexham) Ltd in the early 20th century. These included the neighbouring Top Cottage, Little Chesters and Cherry Orchard properties
	Duffield Lane	Mulberry Cottage	Detached residential house	Most of the house is early 19th century, going back to when the site was the Dog and Pot pub with stables. The pub was relocated to Rogers Lane to be further away from Stoke Court and some buildings were demolished, yet the stabling has been converted to form part of the housing. It forms a group of old red brick properties: together with the Grade II Listed Stoke Court Cottage to the East and West End House to the East. Located within the West End Conservation Area.
	Duffield Lane	Little Mount and The Gate House	Semi-detached residential houses	Built on the Stoke Court estate in 1849 forming part of the stable facilities and later garaging for the private estate. Built in red brick. It has a relatively close proximity to the Grade II Listed Stoke Court. The whole building divided into two semi-detached properties in 1953. Located within the West End Conservation Area.

Image	Location	Property	Asset Type	Special Local Interest
	Duffield Lane	Ashcroft	Attached corner residential house	Located within the West End Conservation Area. In a landmark location at the junction of Duffield Lane and Rogers Lane. Over a century ago it was at the heart of the village because West End was the major hamlet within the Parish. Old red brick walls and casements in keeping with the character of the surrounding cottages. West End Conservation Area Appraisal and old Stoke Court estate maps refer.
	Gerrards Cross Road	Fircroft Cottage	Detached residential cottage	The house has a similar architectural style with black and white paint to the neighbouring, yet much larger building called Fircroft Court so having group value. It has a landmark status as they are the first homes after the Pump house on entering the main urban built area from the north on the main 'B road, even more so because of the pinch-point in the roadway to slow vehicles down on entering the 30 mph limit area. It is shown on maps from the early 20th century and census records from then show it was lived in by those performing domestic duties: 'in service'.
	Gerrards Cross Road	Fircroft Cottage	Detached Residential house, split into flats	The house was originally surrounded by fir trees, hence the name. Similar architectural style to the next door Fircroft Cottage so having a group value. It has a landmark status as the first large house on entering the main urban built area of the village from the north on the main 'B road. It was lived in by a Mr Giddy in the 1920s so believed to be at least a century old. Formerly known in the early 20th century as The Firs.
	Gerrards Cross Road	Clevehurst Lodge	Detached residential house	The name Clevehurst according to local lore of a century ago means a division between two woods. The plot of land forming Clevehurst was originally called Highfield and by 1890 had changed to Clevehurst. The Lodge was built in the late 19th century, simply as the entrance house from the main road to Clevehurst. A notable family living in the early 20th century at Clevehurst were the Boothby Heathcote ladies, one of them Charlotte Mary was the Countess of Carysfort. In 1909 William Proby, 5th Earl of Carysfort died at Clevehurst. It remained as the one property of the estate as the land surrounding it was sold off with Clevehurst Close to the north being developed post WWII and in 1972 Clevehurst house being sold to developers resulting in Freemans Close being built. The building has been modernised but retains in places retains its original shape, slate tile roof, brick boundary wall with large pyramid end coping stones.





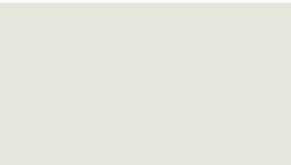


Image	Location	Property	Asset Type	Special Local Interest
	Gerrards Cross Road	Fox and Pheasant public house	Public house	First Licensed in 1830 it formed the main pub serving the north of Stoke Common. Located on the main coaching route from Windsor to Gerrards Cross and to this day is on the main direct vehicle route from the towns of Slough - Gerrards Cross. It has and still has community value. Located near the border of the Parish it has a prominent location in the road scene and overlooks Stoke Common. It has hosted a variety of Coroner's Inquests in the Victorian period following deaths in the northern part of the Parish.
	Gerrards Cross Road	Post Cottage	Semi-detached house	All are period cottages located between the Fox and Pheasant pub to Collum Green Road. They have a landmark status as one enters into the village scene from the north. This was the Stoke Common hamlet in the 19th century. All overlook to the east Stoke Common which is a Site of Special Scientific Interest (SSSI)
	Gerrards Cross Road	Annes Cottage	Detached Residential house, split into flats	
	Gerrards Cross Road	Lidstone Cottage	Detached residential house	
	Gerrards Cross Road	The Cottage	Semi-detached house	
	Hockley Lane	Orchard Cottage	Detached residential house	Built in the region of the 1870s and lived in by staff who worked on land for a large local home. It has since been extended. The lane was named after 'Old Hockley' who was the gamekeeper for John Penn, Esq. of Stoke Park who owned the two cottages which stood beside the brook at the southern end of the lane.
	Hollybush Hill	1 and 2 The Hollies Cottages, Dean Lodge & Gray's Lodge	Terraced Residential cottages	The row of cottages were built after the early 19th century enclosure of Stoke Common and had been built by the 1840s, as per maps. They are some of the oldest and rarest cottages in the Parish. They are built of a mix of coloured old brick with slate roof.

Image	Location	Property	Asset Type	Special Local Interest
	Gray's Park Road	The Lodge of Duffield House	Detached residential cottage	<p>Built between 1861-1871 of Victorian red brick and occupied by William Copper, a farmer. It was sold in 1879 by the Lord of the Manor, Edward Coleman to Algernon Gilliat. In 1885 Coleman was declared a bankrupt and Gilliat was able to purchase at auction a further sixteen acres.</p> <p>Gilliat was a generous benefactor to the local community, churchwarden and financed the building of St Paul's church in Slough. Gilliat had a chapel within the house which in turn became a billiards room. In 1947 it was bought by Imperial Chemical Industries (ICI) for use a sports, social and conference centre. Located within the Stoke Green Conservation Area, the house forms a cluster of three large houses with Stoke House (Listed - Grade II) and Stoke Place (Listed - Grade II) around the junction of Gray's Park Road with Stoke Green and Stoke Road. Located within the Stoke Green Conservation Area.</p>
	Gray's Park Road	Duffield House	Detached residential house	
	Hollybush Hill	Post Office Cottages	Terraced residential cottages	<p>The row of cottages have dominate the area of Bells Hill. The only Post Office in the village was located in the row of cottages nearest to Bells Hill. In 1910 the Post Office moved from the General Store, Bells Hill run by Mr Joseph Squib to the new row of cottages and run by Mr Edward Cook. He retired in 1925. The Clerk who worked for Mr Cook, married Charles Harding. Dorothy and Charles Harding ran the Post Office there on the corner until it closed in the 1960s in order to move across Bells Hill into a new shopping centre. The cottages have featured on old post cards and calenders of scenes in the village.</p>
	Hollybush Hill	1 and 2 Vine Cottages	Semi detached residential cottages	<p>The pair of cottages are believed to be nearly two centuries old, as per maps, built before 1846. Prior to the Inclosures in the 1820s they were allotments. Due to their age, these are the only known example of such cottages in the Parish. Built of old red brick which was most probably sourced locally from Kiln Lane (now called Rogers Lane) brickworks. They have clay tile roof and on the first floor are the old small light casements with bars and segmental arch heads.</p>
	Hollybush Hill	Fern Hill	Detached residential house	<p>Originally known as the 'Old Wooden House' built by Arnott and Sowerly who opened a builder's yard there and did much work on Sefton Park - late Victorian period. Mapping from the late 19th century also shows the named as Stoke Cottage. It was lived in during the early 20th century by Frederick Tarrant, the sexton at St Giles' church, Stoke Poges. The light casements all have board shutters which match the front door.</p>




Image	Location	Property	Asset Type	Special Local Interest
	Hollybush Hill	The Hollies	Detached residential house	The original site of the Hollies and adjacent to the demolished Stoke Lodge, formerly named Rose Cottage had been built around 1830. It is built in a Regency style with many former outbuildings at the rear, now upgraded as one house. In the early 20th century, General Lewis Jones lived in Stoke Lodge (Chairman of Stoke Poges Parish Council from 1927-1935) and Mrs Sutton in The Hollies.
	Hollybush Hill	1 and 2 The Hollies Cottages, Deans Lodge and Gray's Lodge	Terraced residential cottages	The row of cottages were built after the early 19th century enclosure of Stoke Common and had been built by the 1840s, as per maps. They are some of the oldest and rarest cottages in the Parish. They are built of a mix of coloured old brick with slate roof.
	Hollybush Hill	Woodland Royd	Semi detached residential house	Formerly an old clay pit. Woodlands was a substantial 1880s house with several outbuildings, set in grounds with woodland walks. 1882-3 the house was restructured by Mr G. Almond, builder of Burnham, under the superintendence of Messrs. Thurlow & Cross, architects. In 1884 it was bought by Queen Victoria's surgeon-extraordinary, Sir William Scovell Savory Bt. (1826-1895). One of his successors, the third baronet, William Borradaile Savory, was High Sheriff of Buckinghamshire from 1922-25. In the mid-1930s it was the residence of Air Chief Marshal Sir Robert Brooke-Popham. (Census and Kelly's directories refer). During the second part of the 20th century the house was subdivided into two separate dwellings. Located within the Framewood Road Conservation Area.
	Hollybush Hill	Hollybush House/ Woodlands Cottage	Semi detached residential house	The substantial sized semi-detached homes of the late 19th century are considered to be used as out buildings and staff quarters for Woodlands. The Old Cottage is believed to have some 17th century remains and was two workers cottages. They have a group value with Woodlands, Greenacre opposite, Old Hill House and Hill House as the properties all in close proximity to one another of a similar period. Located within the Framewood Road Conservation Area.
	Hollybush Hill	The Old Cottage	Semi detached residential house	





Image	Location	Property	Asset Type	Special Local Interest
	Keen's Acre	East Lodge	Detached residential house	The site over two centuries ago of the eastern entrance to the policies of the Earl of Sefton's Sefton Park estate. Now a much larger footprint than originally. A landmark location on the sharp bend of School Lane; on the boundary of the built area of School Lane/ Keen's Acre and the fields of Home farm, in addition to having a well used public footpath running along the eastern boundary. The property forms an important heritage link with the what was the much larger Sefton Park estate and today's Grade II Listed Sefton Park (the main house). Old Sefton Park estate maps at Bucks Archives refer.
	Lakeside Drive	Fire suction inlet supported by wall	Fire prevention structure	Built for the late 19th century to early 20th century fire fighting purpose for use on the Stoke Court estate and surrounding buildings. Located close to a sluice, controlling the water level from the upper lake, closest to Stoke Court. Referred to in the West End Conservation Area Character Appraisal report as a 'significant boundary wall'. A rare remaining structure of fire fighting industrial heritage on a small country estate
	Rogers Lane	No. 129 Stoke Poges Village Centre	Non-residential Community facilities	Opened in 1913, it was built by the renowned local building firm of Hartley and Sons of Wexham. Funds were raised to build it from the local population. Lord Decies who was living opposite in Sefton Park contributed and Chaired meetings to see it built. Originally the building comprised a hall with dressing rooms and a Working Mens Club with billiard room and reading room. Over a century it has been the main centre in the village for the Parish Council and numerous other community activities. An extension to the building was carried out in 1996 which sympathetically matched up with the original architectural design and included enhanced the facilities for the Parish Council and Social Club. It is the most significant asset of community value in the Parish.
	Rogers Lane	121 - 127	Semi-detached residential houses	These homes are all of consistent character with that of the Post Office cottages at the junction of Bells Hill and Hollybush Hill, except for having long narrow front gardens. They are of the late Arts and Crafts style built (adopted for a pair of 1930s semi-detached houses with a central half-timbered double gable). A similar pair of semis in Duffield Lane called Hillcroft and Southcroft are documented as heritage assets in the West End Conservation Area character appraisal. They form a focal point adjacent to the Village Centre as well as being noticeable at the busy junction of the major north-south road of Bells Hill with Rogers Lane, therefore considered a landmark in the village street scene.






Image	Location	Property	Asset Type	Special Local Interest
	Rogers Lane	St. Andrews Church Centre	Chapel	Built in 1935 for use as a Methodist chapel. By the 1950s, the vicar of Stoke Poges, Revd Bryant Bevan bought the disused chapel as the population around it significantly increased, post WWII. It opened up again as a Church of England place of worship but also for local community activities. It has community value. It is a focal point in neighbourhood because it is close to the primary school; adjacent to one of the main entrances to the public park and with a car park. The T-plan chapel is built of red brick laid in Flemish garden wall bond. High hipped roofs covered in plain clay tiles. On main ridge a diminutive octagonal bell-cote or louvre with green copper-covered roof. Arts and Crafts style. Located within the West End Conservation Area.
	Rogers Lane	Winter Cycle	Detached residential bungalows	The house was built around mid-18th century. It was in the mid-19th century a bakery and later on a public house known as the Oddfellows Arms with a water pump outside. The property was at the heart of community living in the hamlet called West End (well before the development of Bells Hill shops) and so century or so gone by it was one of the main centres of population within the Parish. Located within the West End Conservation Area.
	Rogers Lane	Glad stone Villas 100 to 110		A row of terraced of cottages with a plate on the building which rea, 'Gladstone Villas 1880'. These were homes within the centre of the West End hamlet and most suitable for those working on the large estates in the area such as Stoke Court and Sefton Park. Located within the West End Conservation Area.
	Rogers Lane	86 to 92	Semi-detached residential houses	The houses were built in the late 1940s as semis of wood cladding, concrete base and brick chimney. They were imported from Sweden and referred to as Swedish Type 'A' prefabricated houses with ground floor 'wash house' extension. There were only a few thousand homes similar to these built in the UK. They are becoming rare, even resulting in some becoming nationally Listed. West End Conservation Area Appraisal and old Stoke Court estate maps refer.
	Rogers Lane	73, West End House Gatehouse	Detached residential dwelling	Formerly called, 'Little Place'- 19th century. Located on a prominent site at the junction with Duffield Lane and opposite what was the old Dog and Pot public house. West End Conservation Area Appraisal and old Stoke Court estate maps refer.










Image	Location	Property	Asset Type	Special Local Interest
	Rogers Lane	39	Detached residential house	
	Rogers Lane	37	Detached residential house	A home built pre WW11 thought to be for a Colonel Hodson whose son Felix resided there. It has distinctly different architectural style to surrounding houses such as the timber weatherboarding of the gable and front aspect having a pair of archways. A focal point within the road being located on the sharp outside of the bend without adjacent housing on one side, overlooking fields and public footpath to the south, thereby having a landmark status. Post WWII OS maps refers.
	School Lane	3	Residential detached house	The cottage is believed to have been built in about 1830 by John Hazell who built other cottages at that time in the lane. The cottage does not appear on earlier maps such as the Enclosure maps of the 1820s. He was the son of Betty Hazell who lived in the lane further north of this property. The road was originally called Hazell Lane until 1876 when the new school was built in the road. The cottage has been significantly updated and extended, yet retains on the front aspect the original 19th century style windows with segmental arches. The property has group value with Steep Hill cottage in School Lane.
	Stoke Court Drive	Tudor Rose	Residential detached house	Mock Tudor style, built between the World Wars with the whole site adjacent to the old carriage road to Stoke Court. Designed by a builder known for restoration of ancient buildings: Thomas Quarterman. He operated a business from Dorney and was known to restore properties in the neighbourhood. The oak timbers are thought to have come from demolished pubs in London and bricks from the local South Buckinghamshire area. His building work is written about together with similar building photographs in the book called, 'English Cottage interiors' by Hugh Lander and Peter Rauter, published by Orion. The property now has a landmark status in the roads since it is now surrounded by modern buildings built in the last four decades.
	West End Lane	Willow Tree Cottage Gatehouse	Detached residential houses	Thatch residential house. the eyebrows over the upper windows due to thatch and a rarely seen elongated bay window on first floor. 20th century build. The second half of 20th century is known to have been the residence of John DM Snagge. He was one of the main voices to be heard on the BBC during WWII, including the announcement of the D Day landings. Also for decades, he was the commentator for the Oxford v Cambridge University boat race.

Image	Location	Property	Asset Type	Special Local Interest
	West End Lane	Tudor Cottage	Detached residential house	Dr Bill Rhys Davies was the first General Practitioner in Stoke Poges when in the late 1940s he set up a surgery in The Hermitage, West End Lane. Then within the decade he had moved home across the road to Tudor Cottage to operate the surgery. This remained the village surgery until the move to Threeways, 84 Rogers Lane. Partial mock-Tudor architectural style. Early 20th century build virtually mirroring the design of nearby The Spinney in West End Lane.
	West End Lane	The Spinney	Detached residential house	The old part of the house was built around 1900 and closely mirrors the old part of Tudor Cottage (now two houses away). It has been extended yet the old build is the arts and craftstyle. The house has group value with several houses in West End Lane including Tudor Cottage and at the north end of the road: the later built former surgery of 84 Rogers Lane. Architectural interest with a catslide roof on the front aspect with timbers in the gable and a signature course blue brick on its front façade and very old timber beams believed to have come from an old building.
	West End Lane	Nonsense House	Detached residential house	One of the earlier houses in West End Lane – along with The Spinney and Meadowcroft. Post WWI. All of an age. The plot of land was sold in 1906 by Mary Bryant of Stoke Park and by 1935 was already named the 'Nonsense House'. Purportedly used to house famous actors post WWII whilst they were working at Pinewood film studios.
	Willow Park	9	Detached Residential house	Based on mapping it would appear to be an early 20th century building with the typical whitewash of the period, thatched residential home.

CA2 STOKE PARK RESIDENTIAL



This CA comprises a section of the historic core of the village and is focused on the historic houses of Stoke Park, Manor House, the Parish church of St Giles and the Thomas Gray Memorial. It includes the Stoke Park Conservation Area. The area was more central within the parish before the loss of its southern extremities to the expansion of Slough from 1842-1930s.



Figure 30: Examples of architectural styles within the CA.

Land use	Characterised by Stoke Park, the grand Georgian mansion set in historic parkland and designated within the Stoke Park Conservation Area. This CA includes other heritage sites such as the St Giles Church, Manor House. The residential areas surrounding these heritage sites are also described within this character area.
Pattern of development	Developed around multiple heritage sites dating back as far as the 12th Century.
Building line/plot arrangement	A linear pattern of large residential plots with mainly detached houses can be found throughout the CA. Rows of large, detached houses set-back within large driveways can be found on residential lanes, such as Farthing Green Lane, Church Lane, Park Road. The southern section of West End Lane consists of development only to the eastern side of the lane.
Boundary treatment	There is a variety of boundary treatments, including tall timber fencing and tall hedges, with openings for the access. Some examples of tall brick, stucco wall, metal fencing, with tall metal gates can be found but this is not typical of the area and should not be used as precedent.
Heights & roofline	Buildings are typically two storey in height with a variety of rooflines.
Public realm	There are limited foot-ways in the area which is predominantly made up of country lanes, grass verges, large trees, and established hedgerows.
Materials	Mainly red brick, with some examples of yellow gaunt brick and render façades. Typically red clay roof tiles, with examples of black clay tiles.

Table 02: Characteristics of the Stoke Park Residential Character Area

LOCAL HERITAGE BUILDINGS WITHIN THE STOKE PARK CHARACTER AREA




Image	Location	Property	Asset Type	Special Local Interest
	Church Lane	Meads Paddock	Detached residential house	The thatched roof section with old windows is said to be part of an old tennis pavilion - recreation area which was in the grounds of one of the large properties developed post-WWI in the triangle of land boarder by Gray's Park Road, Park Road and Church Lane.
	Church Lane	The Right Hon' Lady Juliana Penn urn	Urn	<p>Dating 1801 - 1808. Unlike many urns it contains a unique inscription. It is believed to be design by James Wyatt (architect to George III) which in itself is uncommon since he is better known for larger structures such as homes and public buildings. There are few artefacts remaining commemorating the life of Lady Juliana Penn. Since its age is over 200 years old, then it adds to the rarity of this type of urn. Following the death in 1801 of Lady Juliana Penn, her son, John Penn (1760-1834) commissioned a memorial urn. He was the owner of Stoke Park.</p> <p>James Wyatt (1746-1813) had been contracted by John Penn to redesign Stoke Park mansion house and to develop memorials on the estate. The fluted sculpted Bath stone is finely decorated and has set into it metal letters to form an inscription. It is mounted on a large pedestal to form a stunning focal point on the lawn area of the gardens which leads down to the upper lake of Stoke Park. The dimension is, height: 100cm by 60cm by 60cm. The early description of the urn describe it as Bath stone, yet now ArtUK , the online home for every public art collection in the UK, states the medium is 'constituted stone'. It is highly likely the urn is made of a form of constituted stone produced by Eleanor Coade (1733-1821). Wyatt often used Coade stone, including the use of it in the nearby Sir Edward Coke monument: the Grade II Listed 'Stoke Park Monument' on Stoke Park estate (also commissioned by John Penn).</p>
	Church Lane	Lych gate - (beside Church Cottage)	Lych gate	Erected in 1913 with old timber which had been removed from St Giles' church tower due to rehanging the bells in metal frame. A lintel of the lych gate has carving in memory of relatives of one of the churchwardens (and headmaster of Stoke House school), Edward Parry. Fine carving on lintel in memory of three Parry family members. Forms part of the curtilidge of the nationally Grade I Listed Church. Located in the Stoke Park Conservation Area. Forming an important group value with the surrounding Listed structures of Gray's Monument, Church Cottage, the middle LychGate, St Giles' church and Gray's tomb.





Image	Location	Property	Asset Type	Special Local Interest
	Fir Tree Avenue	Calladown	Residential detached house	A late arts and crafts style home. The first house to be built in the road post WW1. It was lived in during the 1930s by an extraordinary retired senior civil servant, Sir Sigmund Dannreuther (1873-1965). He had been Controller of Munitions and Finance later in WW1.
	Gray's Park Road	Meads Lodge	Detached residential house	Originally believed to have been constructed as a single storey 1920s Telephone Exchange, virtually identical in form to the existing Telephone Exchange on the A40 London Road, Denham. Split into two workmen cottages which forms part of the estate of The Meads in Park Road which can be seen on 1949 aerial photos with the large 'White House' (since demolished) to the south. Later morphing into one big residential home as a chalet style with a Dutch-Barn half-hip roof design to the south and catslide design to the north aspect. Although extended in the last 50 years it still retains character form on its original footprint.
	Gray's Park Road	Snitterfield House	Detached residential house	The property stands well within its own grounds being built in the early 20th century. In the 1930s the owner was Fulwar C.A. Coventry OBE, an Old Wykehamist who was in charge of motor vehicle transport for Great Western Railway and a founder member of the Institute of Automobile Engineers. The famous BBC Sports presenter and commentator called, David Coleman lived in the house with his family in the late 20th century for many years. One of his daughters, Anne was British ladies' show jumping champion. It has been extended and upgraded in recent decades, yet appears from a distance to still retain some of the Edwardian character.
	Gray's Park Road	Wharncliffe	Detached Residential house	The large detached black and white house in design is the only house in the road of this style. It has been extended having a pair of dormers and many casements at the front. The house forms a cluster of earlier built houses in the triangle of homes bordered by Church Lane; Gray's Park Road and Park Road. It was also one of the first post WW1 to built on Gray's Park Road together with the White House and PineWays.








Image	Location	Property	Asset Type	Special Local Interest
	Martin's Plain	Jasmine Cottage	Detached residential house	The front aspect has similar characteristics to the two entrance lodges a short distance further along the road to the west which are called Bray Cottage & the workers lodge on main drive to Stoke Park (Grade II Listed). 19th century cottage of red brick with open lean-to porch. Close to the Stoke Park Conservation Area.
	Park Road	The Meads	Detached residential flats in one house	Built about a century ago, it is one of the few large houses built in that period remaining in the neighbourhood as other post WWII homes have replaced them and built in gardens. In the late 1930s it was lived in by Hugh Geoffrey Herrington CBE before moving during WWII to Clevehurst in Stoke Poges. He became Managing Director, High Duty Alloys Ltd in Slough. Also resident there was Colonel Wallace Charles Devereux from the mid-1930s until his death in 1952. They both worked in the same field of work: the light metal industry. The importance of the technical developments and facilities for aircraft production that he had brought about was made clear in the Second World War, during which Colonel Devereux was made Controller of North American aircraft supply in the Ministry of Aircraft Production; in this post he was responsible for organizing the reception, assembly and repair of American aircraft and their engines. He founded the Fulmer Research Institute in Hollybush Hill Stoke Poges to meet the urgent needs of industry for laboratories after the war. The house is close to the Stoke Park Conservation Area and the National Trust owned Gray's field
	Park Road	Garden Cottage	Detached residential cottage	The late Victorian cottage has group value with the surrounding nationally Listed lodges at the entrance of Stoke Park: the north driveway at Park Road, as well as Jasmine Cottage in Martin's Plain and the buildings of Stoke Park farm. Located in the Stoke Park Conservation Area.

Image	Location	Property	Asset Type	Special Local Interest
	Park Road	Stoke Park Farm north wall	Wall	<p>Brick wall containing marks of R.G. 1691. The initials are believed by some local residents, previous local amateur historians and the current owner of the Stoke Park farm to be those of Robert Gayer, Lord of the Manor of Stoke Poges and owner of Stoke Park. In 1688, soon after William III ascended the throne, he visited Stoke Poges. On passing the Manor House, he expressed a wish to see it. But Sir Robert Gayer (R.G), the owner of the Manor House, in spite of his wife's entreaties, stoutly refused him admission saying, 'He has got possession of another man's house and he shall not enter mine'. The King, who was actually standing outside the gate, had to depart. Sir Robert died in 1702 and was succeeded by his eldest son, also called Robert, who sold the estate in 1724. Inclosure Award map of 1822 shows plot 434 with a dividing line where the wall is currently located. By the time of William Trumper's 1846 map, the line is more defined and further buildings in the area. It is thought by then there was the development of the walled garden and a market garden on-going for the Stoke Park estate. Some of the brick work appears to be 19th century, rather than more modern bricks. It's unlikely the wall is earlier than the 19th century. Located in Stoke Park Conservation Area.</p>
	Park Road	Stoke Park Farm orangery	Orangery	<p>The Victorian red brick and clay tile orangery is built against the north wall of Stoke Park farm, located in the Stoke Park Conservation Area. It has group value because of the similarity in red brick with the stable yard, east & west lodge (Grade II Listed), the surrounding walls and further away, the Manor house (Grade I Listed). It is a rare remaining feature which can not be seen at any of the old grand houses within the Parish.</p>
	Park Road	Stoke Park Farm former Market Gardeners building	Detached residential dwelling	<p>The Victorian building for a market garden that used to operate adjacent to Stoke Park farm. It had a state of the art heating system, allowing for heat to circulate under what is now the lawn of Stoke Park Farm. The structure underneath the ground floor level still exists and can be partially seen from the south aspect. A rare feature in the Parish, signifying the importance in Victorian and Edwardian period of market garden and kitchen garden to grow local produce for a large estate. It is located in the Stoke Park Conservation Area.</p>
	Park Road	Pinegrove	Detached residential house	<p>Post WW1, international sporting celebrity of the time, Mrs Ruth Durlacher lived in the house. She had previously lived in Larchmoor, Gerrards Cross Road and the White House in Park Road, whilst married to stockbroker, Nick Durlacher. She came from a wealthy Irish family, won various tennis tournaments including the prestigious All England Women's Doubles Championship. She also excelled in playing golf by representing Ireland and winning tournaments including the Ladies Championships of France. The property has group value with other large detached homes of the early 20th century along Park Road, such as Gateside and The Orchard.</p>

CA3 STOKE GREEN RESIDENTIAL







This CA comprises of the remaining section of the historic core of the village and is focused on the historic house of Stoke Place. It includes the Stoke Green Conservation Area. The architectural interest of the character area is highlighted by the concentration of listed buildings, including the Grade II listed Stoke House, The school house, Red lion public house and Boundary wall and gatepiers at Stoke Place.

Figure 31: Examples of architectural styles within the CA

Land use	Characterised by Stoke Place estate, a Grade II listed National Heritage asset built in 1698, and designated within the Stoke Green Conservation Area. This CA also includes residential areas surrounding Stoke Place.
Pattern of development	Developed around multiple heritage assets from around the 18th century.
Building line/plot arrangement	Generally linear development along Stoke Green Road. Also includes the gated cul-de-sac community at Mobbs Close. Buildings are set back within large plots, driveways and detached garages.
Boundary treatment	Typically consists of tall hedgerows, walls, and timber fencing.
Heights & roofline	Buildings are two storey in height with a variety of rooflines, with hipped roofs often used.
Public realm	Narrow footpaths with some sections being limited to paths on only one side of the road along Stoke Green.
Materials	Mainly red brick, with some examples of brick mixes of red and blue. Typically red clay roof tiles.

Table 03: Characteristics of the Stoke Green Character Area

LOCAL HERITAGE BUILDINGS WITHIN THE STOKE GREEN CHARACTER AREA

Image	Location	Property	Asset Type	Special Local Interest
	Mobbs Close	25	Outbuilding	An unusual and rare structure without any records indicating its purpose, nor appearing on maps or heritage reports. At least for the 20th century it would have been located within the curtilage of the Grade II Listed Stoke House. It is possibly a safe dry store or shelter lodge as located near the old entrance from the public road to Stoke House front entrance. At least earlier than the mid-20th century. Flint and mortar wall with clay tile roof.
	Stoke Green	Garden Cottage in grounds of Stoke Place	Commercial hotel annex	The building is sited in the middle of an extensive one hectare kitchen walled garden forming part of the Stoke Place estate. Close by to north the public roadside boundary wall of the kitchen walled garden is Grade II Listed and in the other direction Stoke Place house also Grade II Listed. The building is located in the Grade II Listed Park and Garden as well as being in the Stoke Green Conservation Area. The south and central sections of the walled garden is dominated by this early 19th century house, built into the cross wall and overlooking both sections. The house was used for the gardeners working for the owners of Stoke Place: the Howard-Vyse family who owned it for 200 years from the 18th century to the late 20th century. The building has important group value not only with the different sections of walled garden but as an estate as a whole with close proximity to other staff quarters such as the entrance lodge and butler's cottage. It has been sympathetically restored to retain much of its original character including the hipped slate roof with a distinctive bell, sash windows and old yellow brick walls.
	Stoke Green	South and East kitchen garden wall, Stoke Place	Wall	The kitchen garden area was built in the 1820s for Major General R. W. Howard-Vyse. The grounds had been extended following the rerouting of the road further west and enclosure of Stoke Green to the north in 1822. The kitchen wall was built not just to help with cultivation but according to Howard-Vyse records, 'to keep vagrants and vagabonds out'. The wall is an integral part of the estate. The southern section is dominant as it overlooks the front of the house and the eastern section is beside the main entrance opposite the lodge.
	Stoke Green	1 and 2 Stoke Green Cottages	Semi-detached residential houses	The pair of cottages were built for Henry H. Howard-Vyse of Stoke Place in the 1880s. They are believed to have been used by the large Howard-Vyse family as a residence. It forms group of cottages along Stoke Green, all within the Stoke Green Conservation Area. It has similar architectural features with the neighbouring Grade II Listed older Arbory Cottage, especially the light casements with diamond paned leaded lights.

CA4 FRAMEWOOD ROAD



This CA comprises the second Conservation Area in the village - the Framewood Road Conservation Area. It includes two Grade II listed buildings - Framewood Manor, and the lodge at the entrance to Framewood Manor. The architectural interest of this area is characterised by late Victorian and Edward country houses set in spacious grounds.



Figure 32: Examples of architectural styles within the character area.

(Image Credits: Framewood Road Conservation Area Character Appraisal, South Bucks District Council)

Land use	Characterised by the Framewood Road Conservation Area, comprising of Grade II listed Framewood Manor and the lodge at the entrance of the Manor. The uses are mixed, mainly residential, with a private school, business park and some agricultural (mainly equestrian) uses.
Pattern of development	Mainly linear development along Framewood Road, with smaller residential roads leading to newer developments.
Building line/plot arrangement	The lower part of the area consists of a linear arrangement of development, with cul-de-sacs. Residential plots are mainly concentrated along and around Wexham Street. Buildings are set back within large plots, driveways and detached garages.
Boundary treatment	Typically consists of tall and low hedgerows, low walls, and timber or metal fencing.
Heights & roofline	Buildings are two storey in height with a variety of roof types - gabled roofs are often used, with some examples of hipped.
Public realm	Narrow footpaths limited to one side only, while the other side consists of grass verges. The footpaths are adjacent to the houses lined with hedgerows or trees that give the residents a sense of privacy.
Materials	Mainly red brick, with some examples of yellow brick and rendered façades. Typically red clay roof tiles, with examples of black clay tiles.

Table 04: Characteristics of the Framewood Road Character Area

LOCAL HERITAGE BUILDINGS WITHIN THE FRAMEWOOD ROAD CHARACTER AREA

Image	Location	Property	Asset Type	Special Local Interest
	Chapel Lane	7	Detached residential house	A hamlet community of similar proportionate residential homes which lack significant uniformity, yet each with age and character. The outlook is over open countryside which is little changed over the centuries. Over the last couple of centuries, residents in the community worked locally with an adjacent chapel of ease, (closed 1973) so forming a hamlet.
	Farthing Green Lane	Farthing Green House	Detached residential house	Owned during WWII by the famous sculptor, Alfred Hardiman RA who moved out of London to carry on his profession and develop a fine garden around the house. Thought from map regression to be of early 19th century build.
	Frameworkood Road	Mill House (and Mill House Cottage)	Residential detached house	The buildings are of Edwardian appearance in an Arts and Craft style believed to have been built at the same time as Frameworkood Manor which was completed in 1905. A local palette of red brick, clay hanging tiles and a plain clay tiled roof used on the buildings. The early use was for stabling and garage with staff accommodation including 8 bedrooms and a further two in the cottage area for chauffeursin. Located within the Frameworkood Road Conservation Area.
	Frameworkood Road	Eight Acres Farm house	Residential detached house	Built by William Hartley, builders of Wexham, to plans approved in 1910. An Arts and Crafts style with red brick, tile-hanging, and a plain clay-tile roof. It originated as the bailiff's cottage for Sir John Bell of Frameworkood Manor. The house has been extended to the right, with dormers added, the tall corbelled chimney has been reduced and windows replaced, but the jettied front tile-hung gable on wooden brackets, the open front porch with recessed front door under the catslide roof and canted bay window are distinctive original features. Located within the Frameworkood Road Conservation Area.
	Frameworkood Road	The Old Pottery	Residential detached house	Formerly the White Cottage. Additions since 1900 are the cottage at Eight Acres Farm, it was formerly called, the White Cottage. Farm buildings are attached at the rear. It looks like it was formerly two farm cottages, now amalgamated. The mixture of yellow and red bricks and Welsh slates reflects the availability of non-local building materials from the mid19th century onwards. It has a truncated lateral chimney stack. The house is close to the road and prominent in the streetscene. Located within the Frameworkood Road Conservation Area.




Image	Location	Property	Asset Type	Special Local Interest
	Frameworkood Road	Hill House	Semi-detached residential houses	1846 map of Stoke Poges Parish drawn by William Trumper first shows a building on the site and outbuildings set around what appears to be a farmyard, with a pond. In Collier's Directory of 1875 when the Easson family were residents, it was known as Frameworkood Farm. By 1900 OS map it is a substantial property named as Frameworkood. It was used as a dame school then a private residence of the Stoke Poges Parish curate. Residents were Revd. Utten-Easson and later Revd E.H. Strand. By 1911 in a directory, it shows a retired Colonel in the Royal Engineers, Sir William Sinclair Smith Bisset, living at Hill House. He had been Government Director of Indian Railway Companies at the India Office, 1897-01 and Chairman of the S. Mahratta Railway Co. In 1916 he died in the house. His son Arthur, became a Vice Admiral in the Royal Navy. In the Kelly's Directory of 1928, shown at the address is Sir (Theodore Frederick) Charles Edward Shaw, an industrialist from Wolverhampton who had also been a Member of Parliament for Stafford. In the 1920s, as per the ordnance survey maps the site was all called, 'Frameworkood'. Located within the Frameworkood Road Conservation Area.
	Frameworkood Road	Old Hill House		
	Hollybush Hill	Woodlands	Semi detached residential house	Formerly an old clay pit. Woodlands was a substantial 1880s house with several outbuildings, set in grounds with woodland walks. 1882-3 the house was restructured by Mr G. Almond, builder of Burnham, under the superintendence of Messrs. Thurlow & Cross, architects. In 1884 it was bought by Queen Victoria's surgeon-extraordinary, Sir William Scovell Savory Bt. (1826-1895). One of his successors, the third baronet, William Borradaile Savory, was High Sheriff of Buckinghamshire from 1922-25. In the mid-1930s it was the residence of Air Chief Marshal Sir Robert Brooke-Popham. (Census and Kelly's directories refer). During the second part of the 20th century the house was subdivided into two separate dwellings. Located within the Frameworkood Road Conservation Area.
	Hollybush Hill	Greenacre	Detached residential house	Part of the property dates back of two centuries when there was at least one cottage on the site. During the 20th century there were two cottages which were converted into one dwelling. In the late 20th century the property was upgraded and extended. It is said that the persons living in the cottages worked serving the surrounding new 'middle class' residents in their new homes by operating a laundry and bake house.

Image	Location	Property	Asset Type	Special Local Interest
	Wexham Street	Berry farmhouse	Detached residential house	On maps going back to the early 19th century, said to have a much old fireplace possibly 17th century. It has been used as a farmhouse for several centuries
	Wexham Street	Nuffy Nursery	Commercial detached former barn	Formerly an outbuilding of Grange Farm and before that in early 19th century was Bumby's farm building.

CA5 TEMPLEWOOD LANE



This CA is mainly residential, and has minimal historic significance. Located at the northern end of the parish, it is defined by the Templewood Lane and was mainly developed around the 1900s. The development along the road can be considered as ribbon-like, but also sporadic.





Figure 33: Examples of architectural styles within the CA

Land use	The CA consists mainly of residential buildings.
Pattern of development	Developed along the Templewood lane/Stoke Wood Road around the 19th century.
Building line/plot arrangement	The area consists of a linear arrangement of development. Residential plots are mainly concentrated along and around Stoke Wood Road. Buildings are set back with sizeable driveways. Houses that are located further away from the main road are within large plots that privately fenced off by trees and metal fencing.
Boundary treatment	Typically consists of hedgerows, low walls, and metal fencing. Metal fencing is not local to the area and should not be used as precedent.
Heights & roofline	Buildings are two storeys in height with a variety of rooflines, with a mix of hipped and gabled roofs.
Public realm	There are limited footways in the area which is predominantly made up of country lanes, grass verges, large trees, and established hedgerows.
Materials	Mainly rendered façades, painted beige, light yellow or white. Red brick is occasionally used. The roof is typically made of red clay tiles, but there are some examples of black or dark grey tiles.

Table 05: Characteristics of the Templewood Lane Character Area

LOCAL HERITAGE BUILDINGS WITHIN THE TEMPLEWOOD LANE CHARACTER AREA

Image	Location	Property	Asset Type	Special Local Interest
	Stoke Wood	Wood End	Residential detached house	The thatched house is one of the original houses designed and laid out by Percy Tubbs, Som & Duncan architects during World War II. It is in a style between Old English and Swedish modern with thatched roof, as described by the architectural historian, Sir Nikolaus Pevsner. The house has been modestly extended, yet retains its character.
	Stoke Wood	Dutch House	Residential detached house	One of the clutch of homes built in the mid-20th century with a Flemish gabled mansard roof. It has group value with other homes in the road of the same period and painted white, especially the house opposite - called Noah's Ark.
	Stoke Wood	Noah's Ark	Residential detached house	One of the clutch of homes built in the mid-20th century with a Flemish gabled mansard roof. It has group value with other homes in the road of the same period and painted white, especially the house opposite - called Dutch House.
	Stoke Wood	Stoke Thatchers	Residential detached house	One of the clutch of homes built in the mid-20th century which has been extended in character. It has group value with other homes in the road of the same period and painted white.
	Stoke Wood	Spring Cottage	Residential detached house	A late 20th century build, replacing an old house built in the mid-20th century. The architectural features of mock Tudor and dormers to the front aspect add to the distinctive character of the home adding to the great variety of different architectural styles accomplished in properties within the small private road.
	Stoke Wood	Michaelmas Cottage	Residential detached house	One of the clutch of homes built in the mid-20th century which has been extended in character. It has group value with other homes in the road of the same period, especially those also painted white. Architecturally it has similar design featured in the local builder, William Hartley and Sons homes such as in Cherry Orchard, Stoke Poges.

Image	Location	Property	Asset Type	Special Local Interest
	Templewood Lane	Jardine Cottages	Terraced cottages	Over 100 years old and displaying a plate in building of 1911. Built for the staff working for the owner of the Pickeridge estate on Stoke Common Road, Fulmer: the Jardine family. The name of 'Jardine' coming from the surname of the family who owned The Pickeridge, off Stoke Common Road, Fulmer. Mr Jardine had been an important British civil servant in India.
	Templewood Lane	former Mission Room	Store	The building based on map information and the Stoke Poges Parish Magazine certainly shows it in existence in the early 20th century. It is known from Stoke Poges Parish Magazine records in the 1920s, three activities took place in the building: 8am Holy Communion; 3pm Sunday school and 6.30pm Evening prayer. The Parish had a Vicar and a Curate to take the service but also in the 1920s a Captain from the Church Army. The Mission Room at an unknown date was disposed of by the Church. It is now privately owned. It has modern garage door fitted facing the road. On rarity value, few corrugated galvanised iron buildings over a century old are still standing and this is known to be the only such corrugated galvanised building in the Parish of Stoke Poges. It has an important old religious value of how the Church of England reached out to small communities who were some distance away from the Parish Church. It is most probable the building came from the late Victoria company of William Cooper and Boulton & Paul Ltd who were the two major suppliers of corrugated iron chapels in England.

3.2 SWOT ANALYSIS

A SWOT analysis is set out in this section to summarise key findings informed by the context analysis and more detailed character area analyses. These findings will help to shape the design codes and guidance in the following chapter.

Points of strengths and opportunities will be harnessed and further reinforced by the design codes and guidance. Any weaknesses and potential threats identified will be targeted and mitigated against through suggestions of good urban design practices and principles.



Figure 34: Stoke Poges village centre, retail street.



Figure 35: St Andrew's Ecogarden, Rogers Lane.

STRENGTHS

- Heritage assets such as Grade I listed Church of St. Giles, Stoke Park, and Manor House, underpin the character of the parish;
- Stoke Poges' landscape setting and a good number of green features add to the semi-rural location and feel of the parish;
- Networks of PRowS maintain the parish's connectivity within itself and with surrounding villages;
- Revitalised village green, with a number of shops and community organised local public art.

WEAKNESS

- Village centre feels disjointed from the rest of the parish;
- Reduced size of the village green and the imposing bulk of newly developed flats nearby take away from the semi-rural nature of the Neighbourhood Area;
- A number of recent extensions and conversions detracting from the local vernacular;
- Overuse of on-road parking, especially parking on green verges erode the quality of the green and creates a car-dominated streetscape.

OPPORTUNITIES

- Creating a green network with the abundance of woodlands, and other green spaces;
- The village hall, ecogarden, primary school, and church collectively serve as an active community hub;
- Promoting and protecting the multiple locally important heritage assets;
- Land surrounding the settlement is included within the Green Belt, protecting the parish from over expansion.

THREATS

- The number of retrospective planning applications could continue to undermine the character and local architectural merits of the parish if they are not sensitively designed;
- A need to enforce Tree Preservation Orders so that the landscape setting of the Neighbourhood Area can be conserved;
- There are some issues of minor flooding within certain parts of the Neighbourhood Area.



**DESIGN GUIDANCE
AND CODES**

04

4. DESIGN GUIDANCE AND CODES

4.1 INTRODUCTION

This section sets out some key design considerations and aims to encourage readers, developers and their appointed teams to underpin their approach using good practice and a robust process that will clearly communicate their design intentions, be collaborative, and ensure the delivery of a high-quality product that is appropriate and responsive to its sensitive context.

Good places can be delivered from a better understanding of the existing and do not need to rely on inappropriate examples from elsewhere. The parish comprises a lot of rich history and character, most of this delivered without the influence of the motorcar. The challenge for the future is how we create good movement infrastructure that connect people and places, one that prioritises the

movement of pedestrian and cyclists and integrates a strong green infrastructure.

The focus for the design codes is primarily on built form within new development, although broader place-making principles related to the natural environment are also discussed, covering aspects such as green infrastructure, biodiversity and water management. These codes will aim to guide any changes or development within the parish to ensure the local character is respected whilst allowing space for innovation within the built environment.

This is not a step-by-step guide for all interventions of any scale, therefore all involved in urban design and built form must work to understand 'place' and consequently, how these and other key principles should be applied.

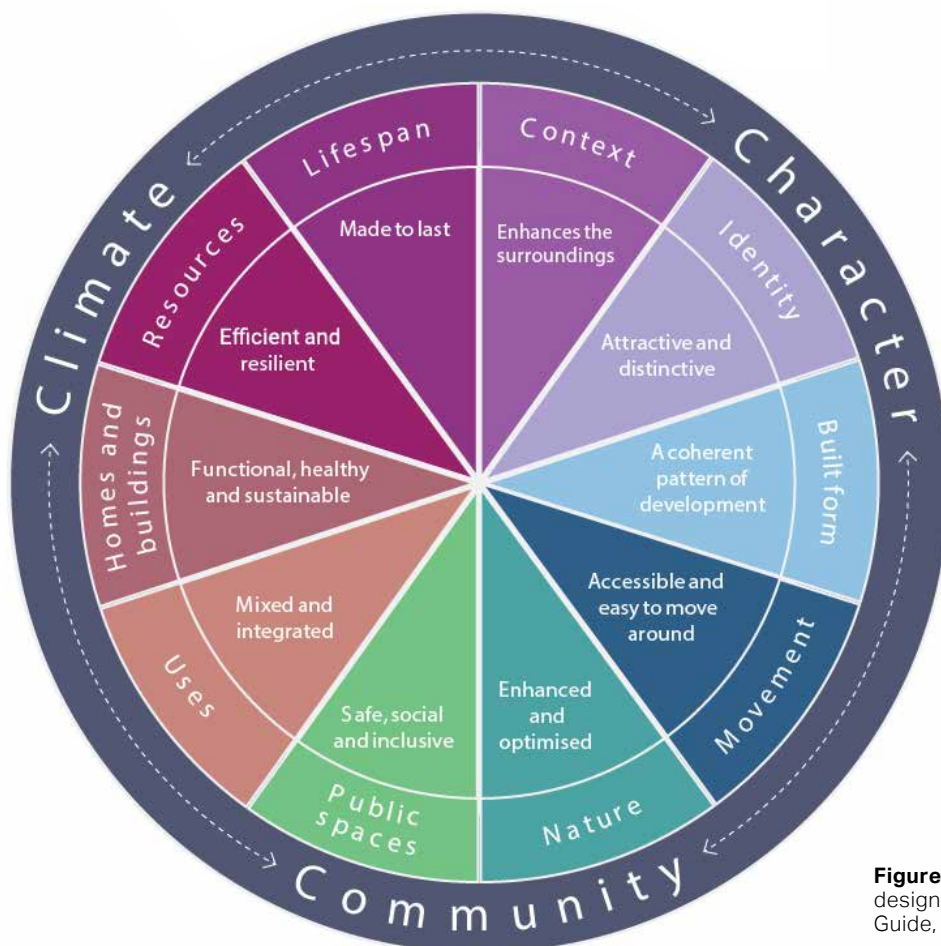


Figure 36: The 10 characteristics of well-designed places (Source: National Design Guide, page 8).

4.2 PART 1. GENERAL DESIGN CONSIDERATIONS

The scope of the design code is not limited to large interventions within the main settlement area but also within the wider rural setting as well as individual small-scale developments. Creating good places demand a focus on achieving quality and

this needs to be embedded in the heart of the process. Also, quality does not necessarily equate to higher costs. Through partnership and collaboration, developers should aim to deliver places that comprise these qualities.

- 1** Development should demonstrate synergy with, and be complementary to, existing settlement in terms of physical form, movement/access, and land use type;
- 2** Development should relate sensitively to local heritage buildings, topography/landscape features, countryside setting, and long-distance views;
- 3** Development should reinforce or enhance the established character of the settlement;
- 4** Development should integrate with existing access, PRow, streets, circulation networks, and understand use;
- 5** Development should explore opportunities to enhance access to public green space, to reflect settlement needs;
- 6** Development should reflect, respect and reinforce local architecture and historic distinctiveness, avoiding pastiche replication;
- 7** Redevelopment of heritage buildings including farms should aim to conserve as many vernacular features as is practicable;

8 Development should retain and incorporate important existing landscape and built-form features;

9 Building performance in terms of conservation of heat and fuel over-and-above building regulations should be a key design driver for new development;

10 Development should respect surrounding buildings in terms of scale, height, form, and massing;

11 Development should adopt contextually appropriate materials and construction details. Embodied carbon toolkits should be used to guide material specification;

12 Development should ensure all components e.g. buildings, landscapes, access, and parking relate well to each other; to provide safe, connected, and attractive spaces;

13 Net Zero aims should be integrated, and development should adopt low-energy and energy generative technologies within the development at the start of the design process; and

14 Development should use nature-based water management solutions/ SuDS to manage on-site water and boost biodiversity habitat.



4.3 PART 2. KEY DESIGN GUIDANCE

The following set of design guidance and codes forms the main substance of this document. These codes set out the expectations that are specific to the context of the Stoke Poges Neighbourhood Area. The use of photographs and diagrams help to reflect good precedents, demonstrate design issues for consideration and further highlight the application of each design.

The guidance advocates for character-led design which responds to and enhances the landscape and townscape character. It is important that new development responds to local context and enhances the “sense of place” whilst meeting the aspirations of residents.

Theme	Prefix	Code
Layout and Buildings (LB)	LB01	Pattern of development
	LB02	Development affecting heritage assets
	LB03	Preserving and promoting local vernacular
	LB04	Extensions, conversions, and infill
	LB05	Housing mix
Access and Movement (AM)	AM01	Safe and friendly neighbourhoods
	AM02	Parking typologies
Landscape Setting (LS)	LS01	Green Infrastructure
	LS02	Wildlife and biodiversity
	LS03	Development edges in the rural landscape
Sustainable Futures (SF)	SF01	Sustainable buildings
	SF02	Water management and SuDS

Table 06: Application of Design Guidance and Codes to development

LAYOUT AND BUILDINGS (LB)

LB01 Patterns of development

As an increasing numbers of infills and large-scale extensions are starting to take place in Stoke Poges and towards the rural edges of the parish, it is important that these are sensitively sited and designed so that they do not detract from the character of their streetscape and setting. Any new proposals should respect the following principles:

- New developments must demonstrate an understanding of the scale, building orientation, enclosure, and rhythm of the surrounding built environment;
- Buildings should front onto the streets to maintain active frontages and avoid having blank façades that hinder activity and movement;
- Building setbacks in new or infill developments should be of an appropriate ratio between the width of the street and the building height, to achieve an appropriate sense of enclosure for its setting. Trees, hedges, and other landscaping features can help create a more enclosed streetscape in addition to providing shading and weather protection;
- Infill development should complement the street scene. They do not need to completely mimic existing styles, but their scale, massing, and layout should reflect the locality within which they sit. This is especially vital within the Conservation Areas;
- The building line of new development should be in conformity with the existing. As there are very few areas of dense and terraced groupings within the Neighbourhood Area, it might be acceptable that the building line closely aligns with the exiting arrangement of buildings where there is an irregular, meandering building line. See overleaf for typical building lines across different character areas that infill or new developments should reference;
- The density of any infill development should reflect the character of the immediate area and location within the village. The optimum density will respond to surrounding densities, whilst making efficient use of land;
- The form and layout of new streets should align with historic ones where possible, and be delivered in the form of simple grid plan where feasible. Cul-de-sacs must be relatively short and provide overlooked pedestrian and cycle links; and
- Due to the lack of developable land within the Parish, any new development should aim to re-purpose buildings or sites which are no longer viable. It is preferred for these to be redeveloped for housing for young and elderly residents in order to sustain a balanced community and preserve the surrounding greenbelt. Brownfield sites are preferred rather than any development on Greenfield.

Pattern of development and building lines



CA1 Village Centre

Building lines in the Village Centre area are continuous and regular, consisting of linear street patterns, which creates a strong sense of enclosure. There are minimal setbacks, with driveways and some areas of front gardens.



CA2 Stoke Park Residential

The building lines within the Stoke Park Residential area are generally uniform in orientation. Due to the large plot sizes, houses are dispersed with wide setbacks, front gardens and driveways.



CA3 Stoke Green Residential

Building lines are somewhat scattered but they maintain a consistent orientation facing the street, although the setback varies from plot to plot.



CA4 Framewood Road

The building lines within the Framewood Road character area are more organic than elsewhere in the parish, with some substantial plot sizes and dispersed building frontages.



CA5 Templewood Lane

As the only character area not part of a Conservation Area, the units within the Templewood Lane area are more recent, with some organised building lines and some on-purpose organic frontages within cul-de-sacs.

LB02 Development affecting heritage assets

Stoke Poges' built heritage strengthens the character of its built form, indicated by the various Conservation Areas within the Neighbourhood Area. Many of the listed and locally listed buildings serve as key landmarks throughout the parish and for the surrounding villages. The grand listed houses such as Stoke Park, Stoke Place, and Manor House form a unique affinity as key assets.

It is key that future developments are sympathetic to the design and historical significance of the Neighbourhood Area:

- Any listed building and locally listed building should be protected and adequately maintained, as they can act as effective landmarks for navigation whilst adding to the quality of the built environment;
- Important views and vistas towards historic assets, landmarks, and historically important streets should be respected by new and infill developments.

Long-distance views from historic assets towards the open countryside should also be protected;

- New development within the historic setting must respect its significance and demonstrate how local distinctiveness is reinforced - e.g. allowing for generous setback from the asset and be of a massing and scale that is sensible to the neighbouring structure;
- New developments, building extension or modification of existing properties close to heritage assets should make positive contributions to the character or distinctiveness of the Conservation Area; and
- New developments within Conservation Areas should propose architectural details, materials, and boundary treatments that are in harmony with surrounding heritage assets to respect local vernacular.



Figure 37: Positive example of new build close to historic buildings. Newer developments can be set back so that the heritage streetscape is not dominated and make references to context, e.g. with fenestration and detailing.



Figure 38: Negative example of new build dominating the village green, taking away from the character of the parish.

LB03 Preserving and promoting local vernacular

New developments should be respectful of architectural styles and use of materials of surrounding housing, whilst ensuring that a mix of styles are provided that is in keeping with Stoke Poges' local style and character. Modern interpretations and tasteful adaptations are welcomed in new developments as long as they remain sympathetic to their surrounding contexts.

Over the recent years, a number of new development and extensions are of a larger than typical nature for the parish. These developments have been affecting the village setting, causing an imbalance in the housing mix within the Neighbourhood Area and should not be used as precedents. Any new development should refer to the Conservation Areas and Listed Buildings for examples of local built character.

Development proposals should provide specification on the building scale, massing and roofscape, as well as the detailed architectural design, including materials, fenestration, and detailing. Proposals should also demonstrate how the setting of the local context has been considered.

Scale, massing and roofscape

- Buildings are predominantly one to two storeys in height;
- Traditionally, the main roof line of buildings in the village is modified by outbuildings and extensions at the rear. New development should reflect this variety, although the extensions must be well designed and not all of the same pitch and size;
- Roof forms should be in keeping with the surrounding context;
- Roof materials of existing village buildings include a variety of clay and slate roof tiles. Clay roof tiles should be of muted brown-red colour;
- The balance and diversity in scale and roofscape should be maintained in development. There are examples which do not follow this but should not be used as a precedent.

ROOF MATERIALS



Red clay tiles with chimney



Patterned clay tiles



Black slate



Thatch

Materials, fenestration, and detailing

The intricacies of the architectural features and detailing in the parish are locally distinctive and define the unique built character of Stoke Poges. These elements provide visual interest and reduce the scale and bulk of the buildings. Common wall materials are mainly red brick and off-white render, some of which have exposed painted timber frames, which add to the character of the Parish. Fenestration is generally white, with some examples of timber painted in dark walnut or black. Roofs are typically clad with red and black clay tiles or black slate. All new development should be designed to a high standard and to make a positive contribution to the character of the surrounding area. Guiding principles for development to respond to the local character include:

- Any materials which are not sympathetic to the existing character and material palette should be avoided;
- Many modern houses have windows that are wider than the traditional double casement. Traditional proportions should be used on new buildings to strengthen the character of the Parish; and
- Solid timber fenestration detailing of simple, traditional design are generally appropriate. Paint colour should ideally be white, estate livery, light cream or muted tones. Dark grey or black UPVC fenestration detailing including should be avoided.

WALL MATERIALS



Red brick



Red and blue brick mix



Off-white render



Yellow brick

FENESTRATION



Wall dormer window



Dark walnut timber sash window



Entryway porch



Brick pattern

Boundary treatments

Boundary treatments should reinforce the sense of continuity of the building line and help define the public realm, appropriate to the character of the area. The use of appropriate forms of boundary treatments contributes to the semi-rural and historic character of the Parish. They should be mainly continuous hedges and low brick walls, made of traditional materials found in the Parish.

- It is preferred that hedges are used as boundary treatments as 'living boundaries', where possible. Hedges found within the parish are typically beech, which provides a great habitat for garden birds and creates a year-round dense screen;
- The use of panel fencing, metal, or continuous high brick walls in these publicly visible boundaries should be avoided because they are not in-keeping with the character of the parish;
- Boundary treatments should offer privacy and screen parked vehicles and ground floor windows facing the street;
- If placed on the property boundary, waste storage should be integrated as part of the overall design of the boundary; and
- New development should reuse and integrate existing boundaries in the form of hedges or brick walls where possible while offering a satisfactory level of natural surveillance.

BOUNDARY



Hedges



Low brick wall with hedge for privacy



Low brick wall



Picket fence

SURFACING



Permeable gravel



Resin-bound gravel



Permeable block paving



Grass verges



Figure 39: Positive example of use of materials and fenestration details which add to the character of the parish.



Figure 40: Negative example using unsympathetic materials, with little to no detailing which creates an out-of-context design.



Figure 41: Positive example of boundary treatment using hedges and timber gate.

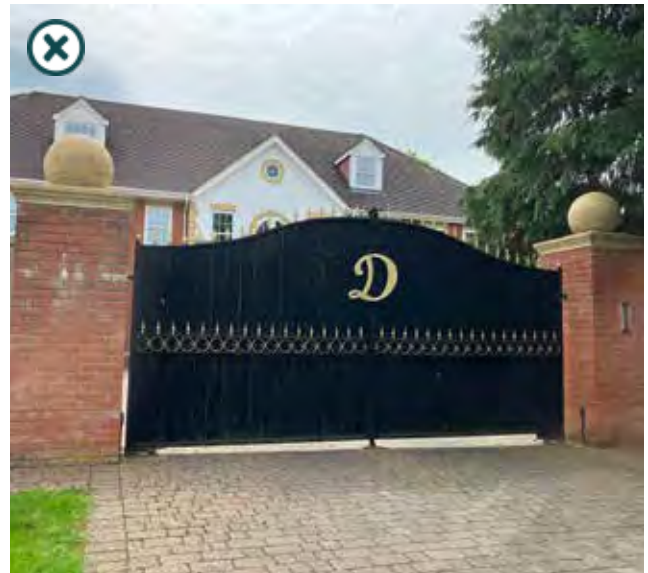


Figure 42: Negative example of boundary treatment using tall continuous brick wall and metal gate.



Figure 43: Positive example from a historic Grade II listed building - including scale, massing, and entryway porch.



Figure 44: Negative example of scale, massing, and entryway porch.

LB04 Extensions, conversions, and infill

Extensions and modifications to dwellings can either revitalise an older building and enhance the streetscape, or on the other hand, adversely impact the appearance of a building and its local context.

The Planning Portal¹ contains more detailed information on building extensions and modifications, setting out what is usually permitted without planning permission (permitted development) as well as what requires planning permission.

The Residential Extension and Householder Development SPD², 2013 also contain locally specific guidance on this matter.

1 <https://www.planningportal.co.uk/permission/common-projects/extensions/planning-permission>

2 https://buckinghamshire-gov-uk.s3.amazonaws.com/documents/Final_Residential_Extension_and_Householder_Dev_SPD_w_page_nos_lzvps9.pdf

The following principles should be considered by development involving extensions and modifications:

- The original building should remain the dominant element of the property, in terms of scale and form, regardless of the number of extensions. Extensions must be appropriate for the scale, massing and character of the main building, and should complement both the streetscape and the village setting. Overly complicated extensions and associated roof forms should be avoided;
- Extensions and other modifications are best located to the rear of the historic buildings to sensitively integrate with the existing distinctive proportions;

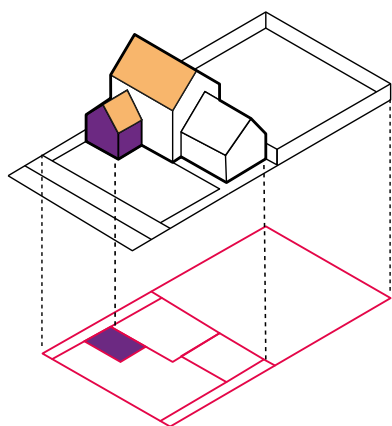


Figure 45: An example of a front extension.

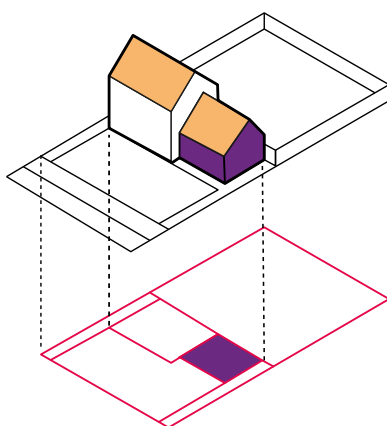


Figure 46: An example of a side extension.

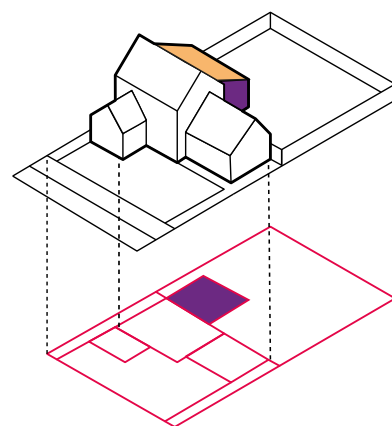


Figure 47: An example of a rear extension.

- Side extensions should be set back from the front of the main buildings and retain the proportions of the original building. This is in order to reduce any visual impact of the join between existing and new;
- Extensions should consider the materials, architectural features, window sizes and proportions of the existing building, and respect these elements to design an extension that matches and complements the existing building. A range of roof heights adds interest to the village roovescape and enhances the integration of extensions with original buildings;
- Designs that wrap around the existing building and involve overly complicated roof forms should be avoided;
- Green buffers are encouraged to mitigate visual impacts with surrounding properties;
- Any new backland development should respect the neighbouring properties and avoid causing privacy, daylight or parking problems. This could be resolved by proposing appropriate massing that is sensitive to the surrounding properties, whilst parking should be accommodated on-plot; and
- It may be most appropriate for extensions on significant or notable buildings to be clearly different from the original building. This can allow the merits of the original building to stand out. However such a decision should always be based on an understanding of the building's character.

It should be noted that many household extensions are covered by permitted development rights, and so do not need planning permission. These rights do not apply in certain areas such as Conservation Areas.

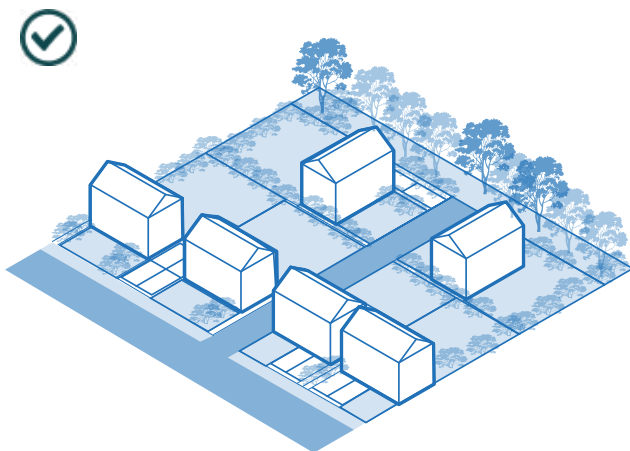


Figure 48: Diagram showing a positive example of backland development.

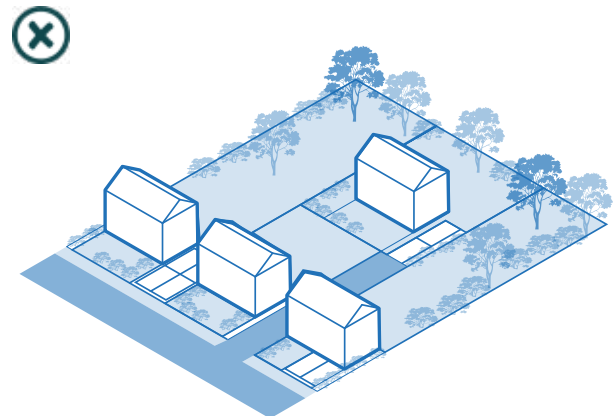


Figure 49: Diagram showing tandem development which will generally be unacceptable due to unacceptable erosion of privacy and amenity.

LB05 Housing mix

It is essential that any new development contributes to sustainable development, including supporting strong, vibrant and healthy communities by providing a supply of housing that meets the needs of present and future generations. The guidelines set out by the NPPF emphasises the need for mix of housing based on current and future demographic trends and the needs of different groups in the community.

- House extensions and conversions which proposes additional bedrooms should be carefully considered. Adding bedrooms to a house could cause imbalance in the housing mix within the Neighbourhood Area; and
- Any development should provide a mix of house sizes to accommodate the need for smaller-stock housing and the diverse household needs across the parish, including 1-2 bed terraced and semi-detached houses.

Please refer to the Affordable Housing SPD by Buckinghamshire Council for more information.¹

¹ https://www.southbucks.gov.uk/media/4093/Affordable-Housing-Supplementary-Planning-Document/pdf/Affordable_Housing_SPD_Final_May_2015.pdf



Figure 50: Positive example of introducing housing mix through terraced housing which maintains the character of the surrounding area.



Figure 51: Negative example of extension which increases the size of the house by using unsympathetic building materials.

ACCESS AND MOVEMENT (AM)

AM01 Safe and friendly neighbourhoods

As set out by Homes England in the 'Building for a Healthy Life'¹ Manual, it is vital to create:

- Integrated neighbourhoods
- Distinctive places
- Streets for all

The following section provides guidance on the above categories in relation to Stoke Poges.

Integrated neighbourhoods

The settlement pattern of Stoke Poges is dominated by linear suburban streets and cul-de-sacs, interspersed with historic areas. It is vital that these distinctive settlement areas are well-integrated and connected. Public transport and other sustainable transport methods such as walking and cycling are encouraged. The following guidelines should help create places that are easy to move through and around.

- New footpath links should be provided wherever possible, and these must connect up with the existing walking network, placing the priority on the pedestrian, thereby encouraging people to favour active travel over the car;
- The design of the street network should respond to the topography and natural desire lines;

¹ https://www.udg.org.uk/sites/default/files/publications/files/14JULY20%20BFL%202020%20Brochure_3.pdf

- Streets and footpaths should be laid out in a permeable pattern, allowing for multiple connections and choice of routes, particularly on foot. Any cul-de-sac should be relatively short and provide onward pedestrian links; and
- Development should design internal streets and paths that are well connected and direct, responding to any desire lines.



Figure 52: A connected layout, with some cul-de-sacs, balances sustainability and security aims in a walkable neighbourhood.

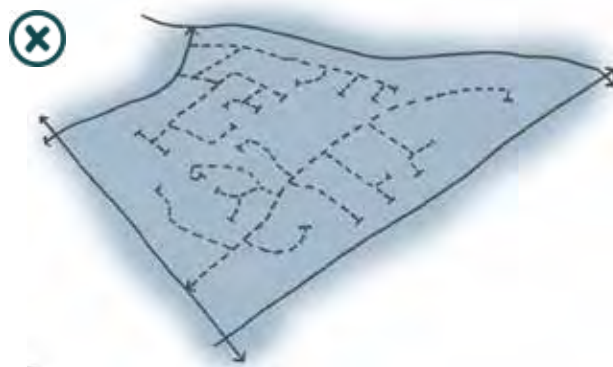


Figure 53: A layout dominated by cul-de-sacs encourages reliance on the car for even local journeys.

Streets for all

Streets should be designed to not only accommodate vehicles but also as 'spaces' for people that live on and along them. An active streetscape is an essential part of a successful public realm design.

- New streets must be designed as a 'space' to be used by all. Existing streets should be retrofitted for the same purpose and to discourage speeding;
- Create public-realm spaces which provides plenty of places for sit, chat or play in the street;
- Make use of landscape and planting layers which adds sensory richness; and
- New development schemes should provide an appropriate amount of accessible footpaths, and should consider design value and the needs of users.

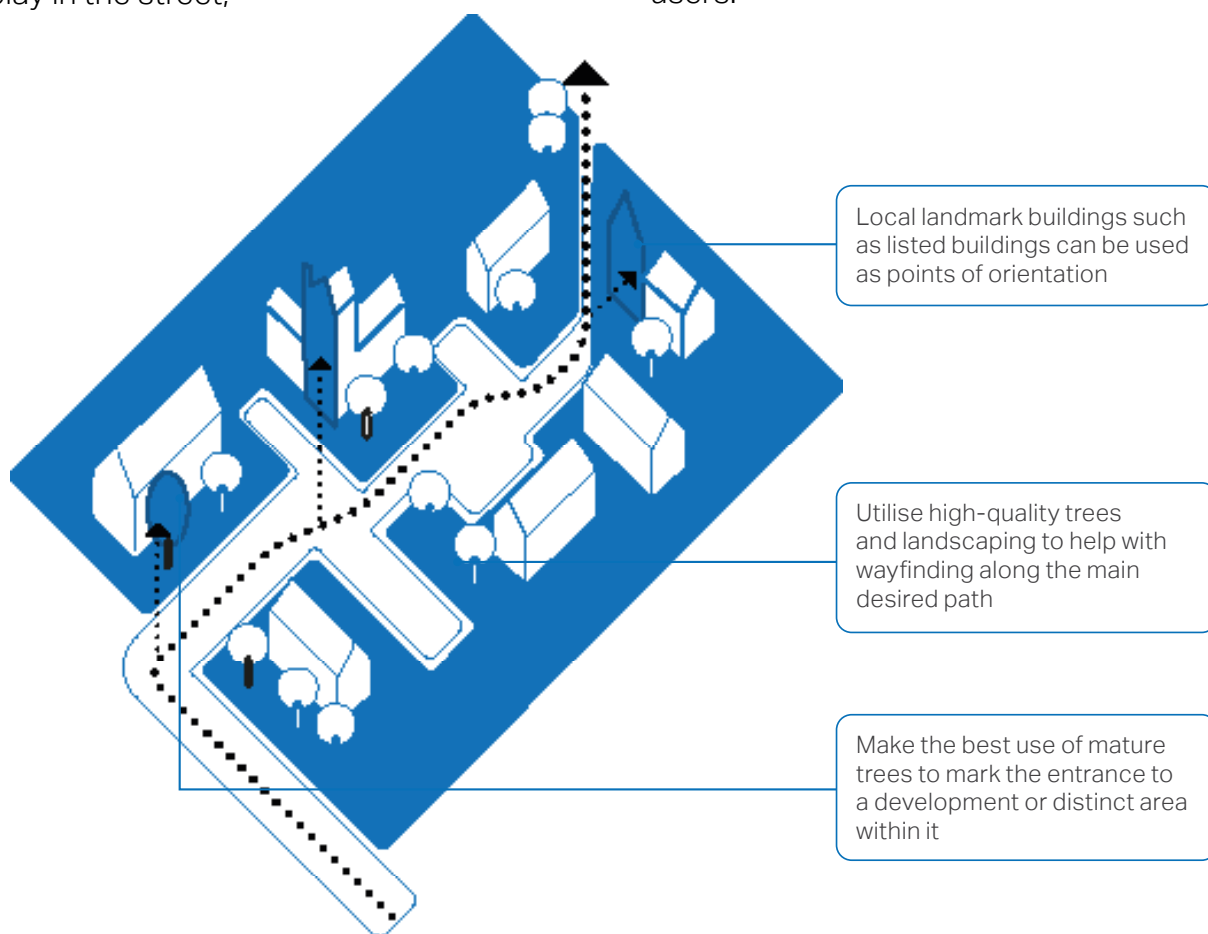


Figure 54: Diagram showing the use of streets as spaces through enhancements to the public realm.

Public realm enhancement measures

High-quality, well-connected public spaces are essential for neighbourhoods. They create informal meeting places, offer a place to rest, and can even provide shelter. The public realm should be coordinated and strengthen local distinctiveness making it a more legible and user-friendly environment. This can be done via:

- Street furniture - these should be added in appropriate locations to provide people with places to stop and linger. Distinctive street furniture can improve legibility and wayfinding whilst enhancing the character of a place. The choice of materials should be of high quality that complements the surrounding;
- Public art and installations - public art could be used to assist wayfinding. New landmark sign/sculpture could be used to mark the gateway spaces; and
- Child-friendly places - public realms should be designed with child-friendly interventions, aligned with key routes that connect schools and residential neighbourhoods.



Figure 55: Example of street furniture integrated with wayfinding signage.



Figure 56: Local example of a community-led public art installation on the village green, which asserts the village green's role as the focal point of the parish.



Figure 57: Rainbow pedestrian crossing, Somerset.

AM02 Parking typologies

Parking areas remain a necessity for many modern developments. However, they do not need to be unsightly or dominate the streetscape. Parking provision should be undertaken as an exercise of placemaking.

On-street parking

In order to reduce the visual impact of parked cars on the street, on-street parking should not be the only form of parking arrangement in future developments.

- On-street parking must be designed to avoid impeding the flow of pedestrians, cyclists, and other vehicles. They can also serve as informal traffic calming;
- On low-traffic residential streets or lanes that are shared between vehicles and pedestrians, parking bays can be clearly marked using changes in paving materials instead of road markings; and
- Given the move towards electric vehicles, every opportunity must be taken to integrate charging technologies into the fabric of road and street furniture in the public and private realm.

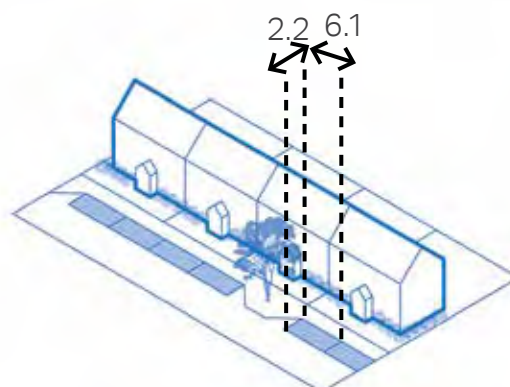


Figure 58: Illustrative diagram showing an indicative layout of on-street parking.



Figure 59: Example of on-street electric vehicle charging points.



Figure 60: Negative on-street parking example, where vehicle is mounting on the pavement, Elizabeth Way.



Figure 61: Negative on-street parking example, where vehicle is mounting on the grass verge, Penn Meadow.

On-plot side or front parking

- Parking provided on driveways directly in front of dwellings should be restricted due to the visual impact that cars have on the street. Therefore, a maximum of 2 dwellings in a row will be permitted to provide parking in this way. Front gardens should be a minimum depth of 6m to allow movement around parked vehicles. They should also be well screened with hedgerows when providing parking space to the front of a dwelling.
- Parking provided on a driveway to the side of a dwelling should be of sufficient length (5m minimum) so that a car can park behind the frontage line of the dwelling. This will reduce the visual impact that cars will have on the street scene. When parking is provided to the side of a dwelling a minimum front garden depth of 3m should be provided.



Figure 64: Positive example of on-plot parking laid with permeable gravel paving, Elizabeth Way.

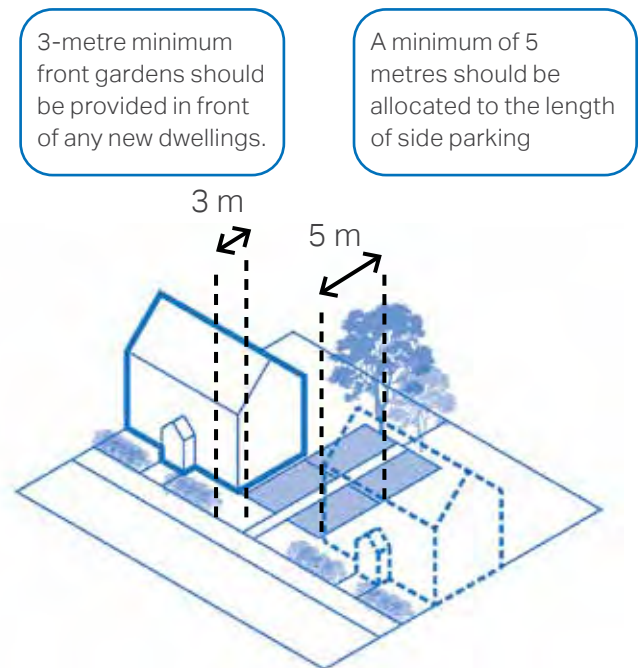


Figure 62: Illustrative diagram showing an indicative layout of on-plot side parking.

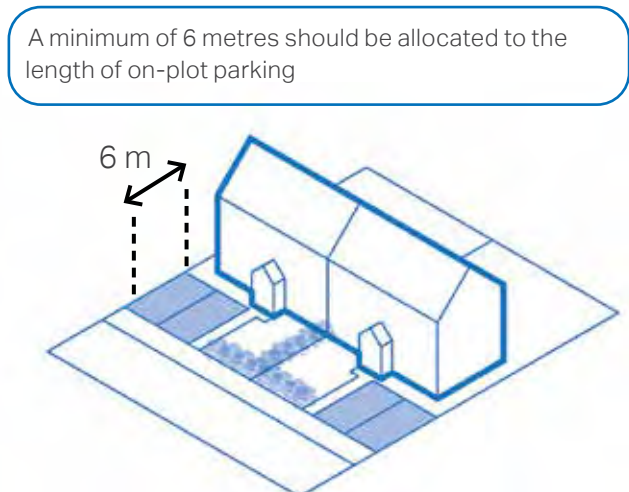


Figure 63: Illustrative diagram showing an indicative layout of on-plot front parking.

LANDSCAPE SETTING (LS)

LS01 Landscape setting

Stoke Poges is connected to a rich green and blue infrastructure network. It is home to a variety of public open spaces (including allotments) and contains a number of ancient woodland within its boundaries.

- Where appropriate, new development should create additional green and blue infrastructure that connects wildlife sites and incorporates water management features;
- Provision should be made for new open spaces and wildlife-rich streets that connect communities with nature from the doorstep to key green infrastructure;
- New development should not occur on existing public open spaces and should sustain connections to existing open spaces where possible. Proposals for allotments, community gardens and flexible spaces for events will be encouraged;
- Any new development should aim to protect the wooded character of the Neighbourhood Area; and
- New buildings and development should be sensitively integrated into the landscape in order to conserve the semi-rural setting of settlements.

Please refer to the South Bucks District Landscape Character Assessment, LCA 24.2 Farnham and Stoke Common Wooded Terrace for more information on key landscape characteristics, geology, topography/landform, hydrology, tree cover, biodiversity, historic environment, and landscape guidelines.¹

¹ <https://www.buckinghamshire.gov.uk/documents/21222/242-farnham-and-stoke-common-wooded-terrace.pdf>



Figure 65: Stoke Poges green and blue infrastructure network consisting of multiple green spaces (SSSI site, ancient woodlands, golf courses, other green open spaces), waterbodies (lakes, ponds), and well-connected PRoW.

LS02 Wildlife and biodiversity

This code focuses on design guidelines and suggestions that could be implemented in private properties, for instance front and back gardens or roofs, or public spaces:

- Biodiversity interventions in the public space could help improve the environment as well as inform and educate the community about the existing species and habitats. For instance, having hedgehog streets, wildlife-friendly show gardens, community forests, or designated areas within green space for wildlife could raise awareness about biodiversity;
- Blue assets can also contribute to biodiversity connectivity. Therefore, existing ditches and streams should be considered in design proposals, in the form of ponds or pollinator gardens when planning for wildlife corridors;

- New developments should prioritise tree planting, identify existing biodiversity corridors, and contribute to their preservation and enhancement. They must also demonstrate a 10% increase in biodiversity¹ on or near development sites in alignment with national legislation on Biodiversity Net Gain;²
- Gardens and boundary treatments should be designed to allow the movement of wildlife and provide habitat for local species, as well as to retain the rural character of the parish. For that reason, rich vegetation and plantation is suggested, whilst less permeable boundaries like brick walls and timber fencing should be used less and allow for regular gaps to facilitate movement for species;
- Various examples of climbers can be seen within the Neighbourhood Area, which could be used on any new development. There are a number of ecological benefits of climbers, such as Wisteria, Hydrangea, and Honeysuckle. This will also help add to the semi-rural character of the Neighbourhood Area; and
- It is preferred that any new tree planting are of local provenance.

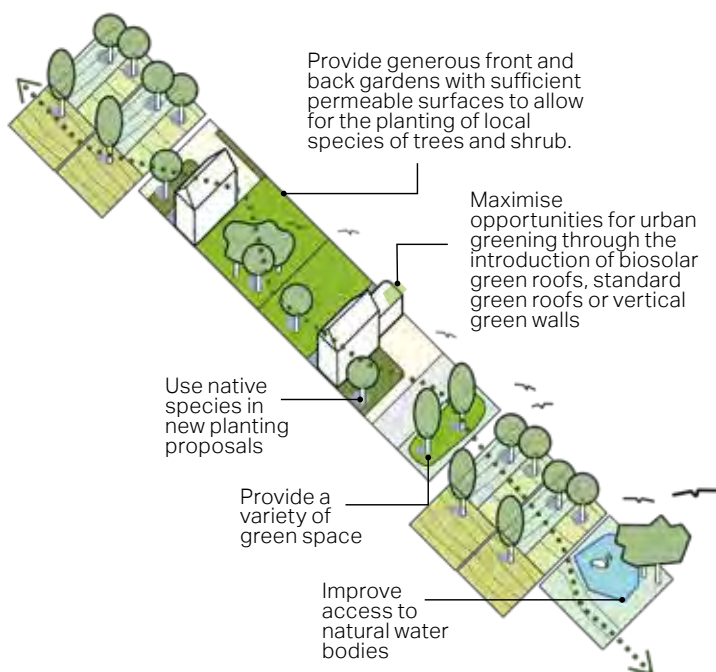


Figure 66: Illustrative diagram showing a green and blue network.

1 Environment Act 2021, Schedule 7A Part 1: <https://www.legislation.gov.uk/ukpga/2021/30/schedule/14/enacted>

2 This refers to "the delivery of measurable improvements for biodiversity by creating or enhancing habitats in association with development" (National Design Guide, p.28)

LS03 Development edges in the rural landscape

Existing vegetation that forms boundaries between settlements and the landscape should not be undermined by any new development. In particular, any new development set on the edges of village settlement boundaries needs to respect the existing natural setting and aim to enhance it. Some design guidelines on how new development should treat rural development edges are:

- Edge of settlement development should gradually transition to the surrounding landscape context, with a soft, low-density edge. Building elevations along the existing settlement edge should connect into it and should provide an attractive and positive frontage;
- Abrupt edges to development with little vegetation or landscape should be avoided. Instead, a comprehensive, layered landscape buffering should be encouraged;
- New development should conserve existing native trees, shrubs, and hedgerows, and incorporate any green asset within their design - avoiding any unnecessary loss of flora; and
- Development adjoining public open spaces, open fields, and the countryside should face onto them with appropriate setback to improve natural surveillance for public spaces. One way to achieve this is to encourage new developments to incorporate edge lanes and green corridors into street designs, which can also provide active travel options.



Figure 67: Sketch to illustrate design guidelines on how new development can treat the rural edges by facing onto them improving natural surveillance and allowing for open views to the countryside.

SUSTAINABLE FUTURES (SF)

SF01 Sustainable Buildings

Any new housing in Stoke Poges should mitigate its impact on the environment and demonstrate that it is responding to climate change with the highest standards of insulation and energy conservation.

- Where existing buildings are being converted or extended every effort should be made to introduce energy saving measures and new technologies to make the building more efficient and sustainable;
- The use of green or brown roofs and/or living walls is encouraged. These can assist with insulation and summer cooling requirements. They can also be readily integrated with solar systems and have even been shown to increase the efficiency of PV cells on hot summer days;
- New housing should demonstrate how rainwater and greywater will be stored and reused to make captured water supplies more efficient;
- The installation of water butts within new residential developments is encouraged to collect rainwater from roofs and reduce the overall rainwater run off impact of any development; and
- Whenever possible, developments should aim to re-use existing materials or procure reclaimed and recycled materials from local suppliers. Building materials made from construction and demolition waste are preferred to primary aggregates. Many types of construction waste can be used for these purposes including soil, asphalt, concrete, bricks and tiles. In conversion schemes roof tiles and slates should be carefully stored and re-used. In addition, priority should be given to materials that can be deconstructed and re-used at the end of the building's usable life.

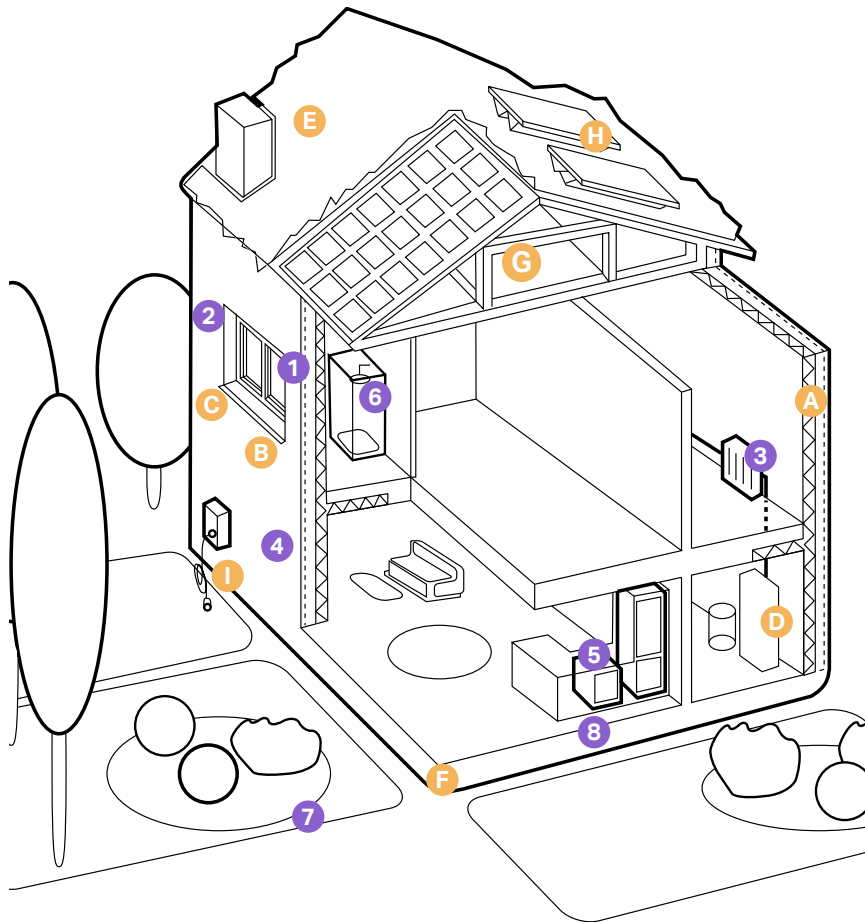


















Figure 68: Diagram showing low-carbon homes in both existing and new build conditions.

Existing homes

- 1  **Insulation** in lofts and walls (cavity and solid)
- 2  **Double or triple glazing with shading** (e.g. tinted window film, blinds, curtains and trees outside)
- 3  **Low-carbon heating** with heat pumps or connections to district heat network
- 4  **Draught proofing** of floors, windows and doors
- 5  **Highly energy-efficient appliances** (e.g. A++ and A+++ rating)
- 6  **Highly water-efficient devices** with low-flow showers and taps, insulated tanks and hot water thermostats
- 7  **Green space (e.g. gardens and trees)** to help reduce the risks and impacts of flooding and overheating
- 8  **Flood resilience and resistance** with removable air back covers, relocated appliances (e.g. installing washing machines upstairs), treated wooden floors

Additional features for new build homes

- A  **High levels of airtightness**
- B  **Triple glazed windows and external shading** especially on south and west faces
- C  **Low-carbon heating** and no new homes on the gas grid by 2025 at the latest
- D  **More fresh air** with mechanical ventilation and heat recovery, and passive cooling
- E  **Water management and cooling** more ambitious water efficiency standards, green roofs, rainwater harvesting and reflective walls
- F  **Flood resilience and resistance** e.g. raised electrical, concrete floors and greening your garden
- G  **Construction and site planning** timber frames, sustainable transport options (such as cycling)
- H  **Solar panel**
- I  **Electric car charging point**

SF02 Water management and SuDS

The term SuDS stands for Sustainable Drainage Systems. It covers a range of approaches to managing surface water in a more sustainable way to reduce flood risk and improve water quality whilst improving amenity benefits.

SuDS work by reducing the amount and rate at which surface water reaches a waterway or combined sewer system. Usually, the most sustainable option is collecting this water for reuse, for example in a water butt or rainwater harvesting system, as this has the added benefit of reducing pressure on important water sources.

The most effective type or design of SuDS would depend on site-specific conditions such as underlying ground conditions, infiltration rate, slope, or presence of ground contamination. However, a number of overarching principles that could be applied in new development are:

- Manage surface water as close to where it originates as possible;
- Reduce runoff rates by facilitating infiltration into the ground or by providing attenuation that stores water to help slow its flow down, so that it does not overwhelm water courses or the sewer network;
- Improve water quality by filtering pollutants to help avoid environmental contamination;
- Integrate into development and improve amenity through early consideration in the development process and good design practices;
- SuDS are often also important in areas that are not directly in an area of flood risk themselves, as they can help reduce downstream flood risk by storing water upstream;
- Some of the most effective SuDS are vegetated, using natural processes to slow and clean the water, whilst increasing the biodiversity value of the area;
- Best practice SuDS schemes link the water cycle to make the most efficient use of water resources by reusing surface water; and
- SuDS should be designed sensitively to augment the landscape and provide biodiversity and amenity benefits.

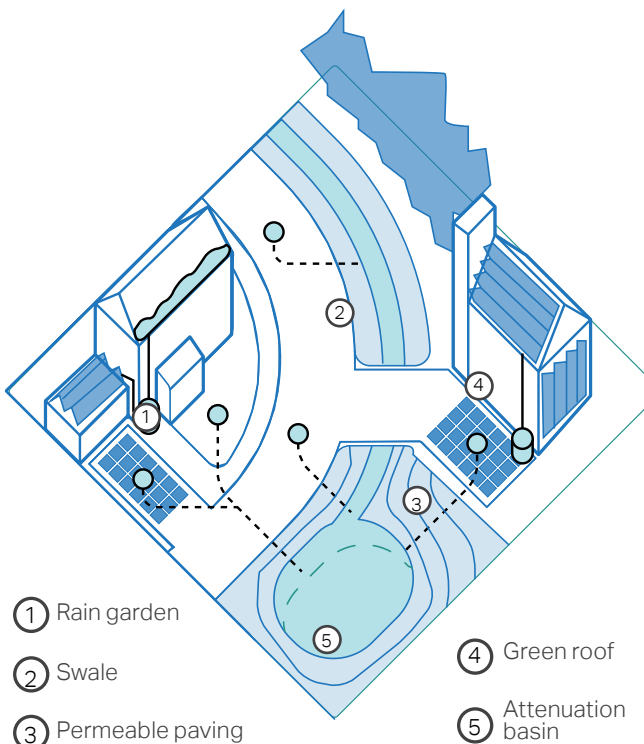


Figure 69: Diagram showing the best use of harvesting water systems rain garden, swales, permeable paving, green roofs.

Permeable paving

Most built-up areas, including roads and driveways, increase impervious surfaces and reduce the capacity of the ground to absorb runoff water. This in turn increases the risks of surface water flooding.

Permeable paving offers a solution to maintain soil permeability while performing the function of conventional paving. Therefore, some design guidelines for new development are:

- The choice of permeable paving units must be made depending on the local context; the units may take the form of unbound gravel, clay pavers, or stone setts; and
- Permeable paving can be used where appropriate on footpaths, private access roads, driveways, car parking spaces (including on-street parking) and private areas within the individual development boundaries.

Regulations, standards, and guidelines relevant to permeable paving and sustainable drainage are listed below:

- Sustainable Drainage Systems - non-statutory technical standards for sustainable drainage systems¹.
- The SuDS Manual (C753)².
- Guidance on the Permeable Surfacing of Front Gardens³.

1. Great Britain. Department for Environment, Food and Rural Affairs (2015). Sustainable drainage systems – non-statutory technical standards for sustainable drainage systems. Available at: https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/415773/sustainable-drainage-technical-standards.pdf

2. CIRIA (2015). The SuDS Manual (C753).

3. Great Britain. Ministry of Housing, Communities & Local Government (2008). Guidance on the Permeable Surfacing of Front Gardens. Available at: https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/7728/pavingfrontgardens.pdf

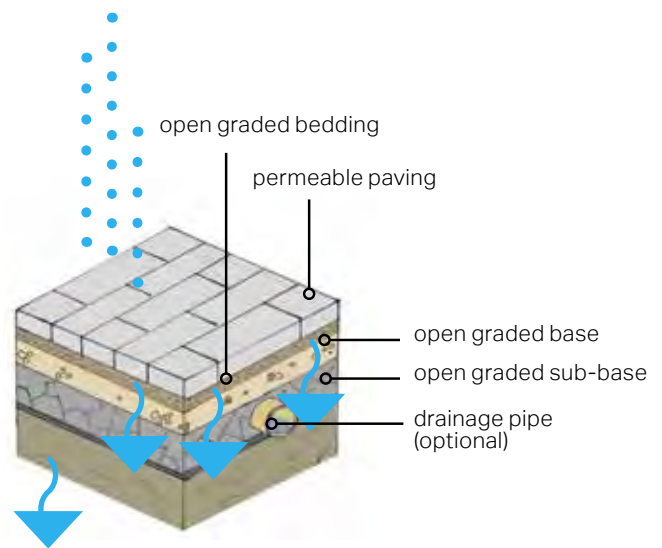


Figure 70: Diagram illustrating the function of a soak away.



Figure 71: Example of a permeable paving that could be used for driveways.

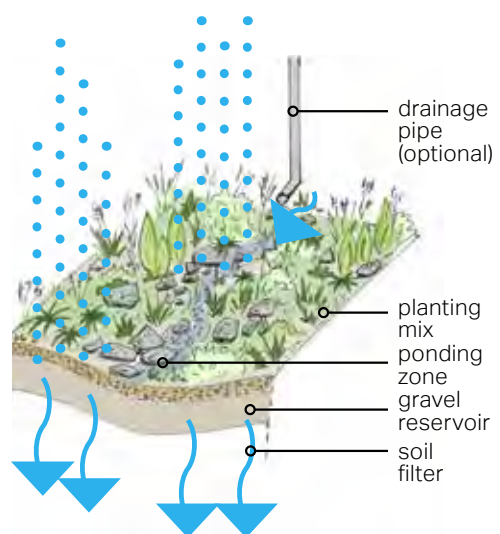


Figure 72: Diagram showing how a rain garden works.

Storage and slow release

Rainwater harvesting refers to the systems allowing the capture and storage of rainwater as well as those enabling the reuse in-site of grey water.

Simple storage solutions, such as water butts, can help provide significant attenuation. However, other solutions can also include underground tanks or alternatively overground gravity fed rainwater systems that can have multiple application areas like toilets, washing, irrigation. In general, some design guidelines to well integrate water storage systems are:

- Consider any solution prior to design to appropriately integrate them into the vision;
- Conceal tanks by cladding them in complementary materials;
- Use attractive materials or finishing for pipes; and
- Combine landscape/planters with water capture systems.



Figure 73: Example of a gravity fed rainwater system for flushing a downstairs toilet or for irrigation.



Figure 74: Diagram illustrating rainwater harvesting systems that could be integrated into open space and residential developments. Source: <https://dps-fr.com/>



DELIVERY

05

5. DELIVERY

Should any development sites come forward in the Parish through a site selection and allocation process, these could be reviewed through a Site Assessment package that AECOM can offer, the Neighbourhood Plan Steering Group may also want to consider developing a masterplan. This will capture and reflect local opinion on appropriate housing densities and layouts, as well as provide more certainty for preferred development sites within the Neighbourhood Area.

As well as providing certainty to the local community, the design codes in this document should give more certainty to developers, as they will be able to design a scheme that is reflective of community aspirations, potentially speeding up the planning application process.

In addition to the guidance set out in this document, future developers should also make sure that they have observed the guidance in the National Design Guide. Developers should also note that housing developments of any size should strive to achieve carbon neutrality in line with the Government's forthcoming Future Homes Standard.

Further standards on residential developments should also be obtained from Building for a Healthy Life, a government-endorsed industry standard for well-designed homes and neighbourhoods.

Actors	How they will use the design guidelines
Applicants, developers, and landowners	As a guide to community and Local Planning Authority expectations on design, allowing a degree of certainty – they will be expected to follow the Guidelines as planning consent is sought.
Local planning authority	As a reference point, embedded in policy, against which to assess planning applications. The Design Guidance and Codes should be discussed with applicants during any pre-application discussions.
Parish council	As a guide when commenting on planning applications, ensuring that the Design Guidance and Codes are complied with.
Community organisations	As a tool to promote community-backed development and to inform comments on planning applications.
Statutory consultees	As a reference point when commenting on planning applications.

About AECOM

AECOM is the world's trusted infrastructure consulting firm, delivering professional services throughout the project lifecycle — from planning, design and engineering to program and construction management. On projects spanning transportation, buildings, water, new energy and the environment, our public- and private-sector clients trust us to solve their most complex challenges. Our teams are driven by a common purpose to deliver a better world through our unrivalled technical expertise and innovation, a culture of equity, diversity and inclusion, and a commitment to environmental, social and governance priorities. AECOM is a *Fortune 500* firm and its Professional Services business had revenue of \$13.2 billion in fiscal year 2020. See how we are delivering sustainable legacies for generations to come at aecom.com and [@AECOM](https://www.instagram.com/AECOM).

APPENDIX E – LOCAL HERITAGE ASSETS

The following buildings and structures are not on the National Statutory List of Buildings ('nationally listed buildings') but have been identified as having local heritage value in relation to the provisions of Policy SP7. These assets have been identified using a variety of sources noted in the schedule and using the criteria established by Historic England for this purpose (and that are also being used by the Buckinghamshire Local Heritage Asset project).

Criterion Legend (in no special order):

- A - Age
- B - Rarity
- C - Architectural & Artistic interest
- D - Group value
- E - Archaeological interest
- F - Historic interest
- G - Townscaper or Landscape value

It is acknowledged that there are two properties (Little Chesters and Top Cottage) which also meet the criteria of Local Heritage Assets. However, these have consistently been identified as such in several planning determinations and therefore do not need to be designated as such in the Neighbourhood Plan, but are mentioned here for completeness. The planning history associated with these assets, in particular the historic appeal documents (APP/N0410/W/21/3277780 - [link](#)) in relation to a proposal for demolition of Top Cottage, contains a wealth of information on the significance of both assets. Image source: Stoke Poges Society social media post ([link](#)).









Photo	Location	Property	Asset type	Special Local Interest	Criterion	Map Reference
	Aldridge Place	9	Detached residential house	Built in the 1890s to replace the pub which was nearer to Stoke Court. It was called the Dog and Pot public house and a licence to operate was first granted in 1899 which resulted in the closure of a near adjacent Oddfellows Arms beer house. The pub closed down and change of use was granted in 2012 to become a dwelling house. The whole site was developed into residential properties but retaining the main pub building to form one substantial residential dwelling. The property is located in the West End Conservation Area and as such is the most prominently visible property in the main road through the Conservation Area. The Character Appraisal report for the Conservation Area completed for the South Bucks District Council refers to it, 'as a good example of an Arts and Crafts style public house'	A, F, G	1
						
	Bells Hill	Sefton Park Cottages	Terrace of cottages	Cottages built on the land forming part of the Sefton Park estate. 1938 shown on map as part of Sefton Park Farm with row shown. But no trace on 1875 maps. Word of mouth from old resident, that they were built by the local building firm of Hartley and Sons of Wexham after WW1 for staff working on the surrounding Sefton Park estate.	D, F, G	2
	Broom Hill	24	Detached residential house	Formerly known as Thatch End - Known to have had a thatch roof and built as a group of detached properties by the local quality builder of William Hartley & Sons (Wexham) Ltd in the early 20th century. These included the neighbouring Top Cottage, Little Chesters and Cherry Orchard properties	A, F	3
	Chapel Lane	7	Detached residential house	A hamlet community of similar proportionate residential homes which lack significant uniformity, yet each with age and character. The outlook is over open countryside which is little changed over the centuries. Over the last couple of centuries, residents in the community worked locally with an adjacent chapel of ease, (closed 1973) so forming a hamlet.	F, A	4
	Church Lane	Meads Paddock	Detached residential bungalow	The thatched roof section with old windows is said to be part of an old tennis pavilion - recreation area which was in the grounds of one of the large properties developed post-WWI in the triangle of land boarder by Grays Park Road, Park Road and Church Lane.	C, G	5



Photo	Location	Property	Asset type	Special Local Interest	Criterion	Map Reference
	Church Lane	The Right Honourable Lady Juliana Penn commemorative urn	Urn	<p>Wyatt (architect to George III) which in itself is uncommon since he is better known for larger structures such as homes and public buildings. There are few artefacts remaining commemorating the life of Lady Juliana Penn. Since its age is over 200 years old, then it adds to the rarity of this type of urn. Following the death in 1801 of Lady Juliana Penn, her son, John Penn (1760-1834) commissioned a memorial urn. He was the owner of Stoke Park.</p> <p>James Wyatt (1746-1813) had been contracted by John Penn to redesign Stoke Park mansion house and to develop memorials on the estate. The fluted sculpted Bath stone is finely decorated and has set into it metal letters to form an inscription. It is mounted on a large pedestal to form a stunning focal point on the lawn area of the gardens which leads down to the upper lake of Stoke Park. The dimension is, height: 100cm by 60cm by 60cm. The early description of the urn describe it as Bath stone, yet now ArtUK, the online home for every public art collection in the UK, states the medium is 'constituted stone'. It is highly likely the urn is made of a form of constituted stone produced by Eleanor Coade (1733-1821). Wyatt often used Coade stone, including the use of it in the nearby Sir Edward Coke monument: the Grade II Listed 'Stoke Park Monument' on Stoke Park estate (also commissioned by John Penn).</p>	A,B,C,D,F	6
	Church Lane	Lych gate - (beside Church Cottage)	Lych gate	Erected in 1913 with old timber which had been removed from St Giles' church tower due to rehanging the bells in metal frame. A lintel of the lych gate has carving in memory of relatives of one of the churchwardens (and headmaster of Stoke House school), Edward Parry. Fine carving on lintel in memory of three Parry family members. Forms part of the curtilage of the nationally Grade I Listed Church. Located in the Stoke Park Conservation Area. Forming an important group value with the surrounding Listed structures of Gray's Monument, Church Cottage, the middle LychGate, St Giles' church and Gray's tomb.	A,C,D,F	7




Photo	Location	Property	Asset type	Special Local Interest	Criterion	Map Reference
	Duffield Lane	Little Mount and The Gatehouse	Semi-detached residential houses	Built on the Stoke Court estate in 1849 forming part of the stable facilities and later garaging for the private estate. Built in red brick. It has a relatively close proximity to the Grade II Listed Stoke Court. The whole building divided into two semi-detached properties in 1953. Located within the West End Conservation Area	A, C, D, F	8
	Duffield Lane	Mulberry Cottage	Detached residential house	Most of the house is early 19th century, going back to when the site was the Dog and Pot pub with stables. The pub was relocated to Rogers Lane to be further away from Stoke Court and some buildings were demolished, yet the stabling has been converted to form part of the housing. It forms a group of old red brick properties: together with the Grade II Listed Stoke Court Cottage to the East and West End House to the East. Located within the West End Conservation Area.	A, B, C, F	9
	Duffield Lane	Ashcroft	Attached corner residential house	Located within the West End Conservation Area. In a landmark location at the junction of Duffield Lane and Rogers Lane. Over a century ago it was at the heart of the village because West End was the major hamlet within the Parish. Old red brick walls and casements in keeping with the character of the surrounding cottages. West End Conservation Area Appraisal and old Stoke Court estate maps refer.	D, G	10







Photo	Location	Property	Asset type	Special Local Interest	Criterion	Map Reference
	Farthing Green Lane	Farthing Green House	Detached residential house	Owned during WWII by the famous sculptor, Alfred Hardiman RA who moved out of London to carry on his profession and develop a fine garden around the house. Thought from map regression to be of early 19th century build.	A, F	11
	Fir Tree Avenue	Calladown	Residential detached house	A late arts and crafts style home. The first house to be built in the road post WW1. It was lived in during the 1930s by an extraordinary retired senior civil servant, Sir Sigmund Dannreuther (1873-1965). He had been Controller of Munitions and Finance later in WW1.	A, C, F	12
	Framewood Road	Eight Acres Farm house	Residential detached house	Built by William Hartley, builders of Wexham, to plans approved in 1910. An Arts and Crafts style with red brick, tile-hanging, and a plain clay-tile roof. It originated as the bailiff's cottage for Sir John Bell of Framewood Manor. The house has been extended to the right, with dormers added, the tall corbelled chimney has been reduced and windows replaced, but the jettied front tile-hung gable on wooden brackets, the open front porch with recessed front door under the catslide roof and eanted bay window are distinctive original features. Located within the Framewood Road Conservation Area.	A, C, F	13
	Framewood Road	The Old Pottery	Residential detached house	Formerly the White Cottage. Additions since 1900 are the cottage at Eight Acres Farm, it was formerly called, the White Cottage. Farm buildings are attached at the rear. It looks like it was formerly two farm cottages, now amalgamated. The mixture of yellow and red bricks and Welsh slates reflects the availability of non-local building materials from the mid19th century onwards. It has a truncated lateral chimney stack. The house is close to the road and prominent in the streetscene. Located within the Framewood Road Conservation Area.	A, C, F, G	14
	Framewood Road	Hill House	Semi-detached residential houses	1846 map of Stoke Poges Parish drawn by William Trumper first shows a building on the site and outbuildings set around what appears to be a farmyard, with a pond. In Collier's Directory of 1875 when the Easson family were residents, it was known as Framewood Farm. By 1900 OS map it is a substantial property named as Framewood. It was used as a dame school then a private residence of the Stoke Poges Parish curate. Residents were Revd. Utten-Easson and later Revd E.H. Strand. By 1911 in a directory, it shows a retired Colonel in the Royal Engineers, Sir William Sinclair Smith Bisset, living at Hill House. He had been Government Director of Indian Railway Companies at the India Office, 1897-01 and Chairman of the S. Mahratta Railway Co. In 1916 he died in the house. His son Arthur, became a Vice Admiral in the Royal Navy. In the Kelly's Directory of 1928, shown at the address is Sir (Theodore Frederick) Charles Edward Shaw, an industrialist from Wolverhampton who had also been a Member of Parliament for Stafford. In the 1920s, as per the ordnance survey maps the site was all called, 'Framewood'. Located within the Framewood Road Conservation Area.	A, B, C, F, G	15
	Framewood Road	Old Hill House				16

Photo	Location	Property	Asset type	Special Local Interest	Criterion	Map Reference
	Gerrards Cross Road	Fircroft Cottage	Detached residential cottage	The house has a similar architectural style with black and white paint to the neighbouring, yet much larger building called Fircroft Court so having group value. It has a landmark status as they are the first homes after the Pump house on entering the main urban built area from the north on the main 'B' road, even more so because of the pinch-point in the roadway to slow vehicles down on entering the 30 mph limit area. It is shown on maps from the early 20th century and census records from then show it was lived in by those performing domestic duties: 'in service'.	A, D, G	17
	Gerrards Cross Road	Fircroft Court	Detached residential house, split into flats	The house was originally surrounded by fir trees, hence the name. Similar architectural style to the next door Fircroft Cottage so having a group value. It has a landmark status as the first large house on entering the main urban built area of the village from the north on the main 'B' road. It was lived in by a Mr Giddy in the 1920s so believed to be at least a century old. Formerly known in the early 20th century as The Firs.	A, D, G	18
	Gerrards Cross Road	Clevehurst Lodge	Detached residential house	The name Clevehurst according to local lore of a century ago means a division between two woods. The plot of land forming Clevehurst was originally called Highfield and by 1890 had changed to Clevehurst. The Lodge was built in the late 19th century, simply as the entrance house from the main road to Clevehurst. A notable family living in the early 20th century at Clevehurst were the Boothby Heathcote ladies, one of them Charlotte Mary was the Countess of Carysfort. In 1909 William Proby, 5th Earl of Carysfort died at Clevehurst. It remained as the one property of the estate as the land surrounding it was sold off with Clevehurst Close to the north being developed post WWII and in 1972 Clevehurst house being sold to developers resulting in Freemans Close being built. The building has been modernised but retains in places retains its original shape, slate tile roof, brick boundary wall with large pyramid end coping stones.	A, C, F	19
	Gerrards Cross Road	Fox and Pheasant public house	Public house	First Licenced in 1830 it formed the main pub serving the north of Stoke Common. Located on the main coaching route from Windsor to Gerrards Cross and to this day is on the main direct vehicle route from the towns of Slough - Gerrards Cross. It has and still has community value. Located near the border of the Parish it has a prominent location in the road scene and overlooks Stoke Common. It has hosted a variety of Coroner's Inquests in the Victorian period following deaths in the northern part of the Parish.	F,G	20
	Gerrards Cross Road	Post Cottage	Semi-detached house	All are period cottages located between the Fox and Pheasant pub to Collum Green Road. They have a landmark status as one enters into the village scene from the north. This was the Stoke Common hamlet in the 19th century. All overlook to the east Stoke Common which is a Site of Special Scientific Interest (SSSI)	A, D, F, G	21
	Gerrards Cross Road	Annes Cottage	Semi-detached house			22
	Gerrards Cross Road	Lidstone Cottage	Semi-detached house			23
	Gerrards Cross Road	The Cottage	Semi-detached house			24
	Grays Park Road	The Lodge of Duffield House	Detached residential cottage	Built between 1861-1871 of Victorian red brick and occupied by William Copper, a farmer. It was sold in 1879 by the Lord of the Manor, Edward Coleman to Algernon Gilliat. In 1885 Coleman was declared a bankrupt and Gilliat was able to purchase at auction a further sixteen acres. Gilliat was a generous benefactor to the local community, churchwarden and financed the building of St Paul's church in Slough. Gilliat had a chapel within the house which in turn became a billiards room. In 1947 it was bought by Imperial Chemical Industries (ICI) for use as a sports, social and conference centre. Located within the Stoke Green Conservation Area, this house forms a cluster of three large houses with Stoke House (Listed - Grade II) and Stoke Place (Listed - Grade II) around the junction of Grays Park Road with Stoke Green and Stoke Road.	A, B, C, F, G	25
	Grays Park Road	Duffield House	Detached residential house	26		








Photo	Location	Property	Asset type	Special Local Interest	Criterion	Map Reference
	Grays Park Road	Meads Lodge	Detached residential house	Originally believed to have been constructed as a single storey 1920s Telephone Exchange, virtually identical in form to the existing Telephone Exchange on the A40 London Road, Denham. Split into two workmen cottages which forms part of the estate of The Meads in Park Road which can be seen on 1949 aerial photos with the large 'White House' (since demolished) to the south. Later morphing into one big residential home as a chalet style with a Dutch-Barn half-hip roof design to the south and catslide design to the north aspect. Although extended in the last 50 years it still retains character form on its original footprint.	C,	27
	Grays Park Road	Snitterfield House	Detached residential house	The property stands well within its own grounds being built in the early 20th century. In the 1930s the owner was Fulwar C.A. Coventry OBE, an Old Wykehamist who was in charge of motor vehicle transport for Great Western Railway and a founder member of the Institute of Automobile Engineers. The famous BBC Sports presenter and commentator, David Coleman lived in the house with his family in the late 20th century for many years. One of his daughters, Anne was British ladies' show jumping champion. It has been extended and upgraded in recent decades, yet appears from a distance to still retain some of the Edwardian character.	B, C, F	28
	Grays Park Road	Wharncliffe	Detached residential house	The large detached black and white house in design is the only house in the road of this style. It has been extended having a pair of dormers and many casements at the front. The house forms a cluster of earlier built houses in the triangle of homes bordered by Church Lane; Grays Park Road and Park Road. It was also one of the first post WW1 to built on Grays Park Road together with the White House and PineWays.	A, C	29
	Hockley Lane	Orchard Cottage	Detached residential house	Built in the region of the 1870s and lived in by staff who worked on land for a large local home. It has since been extended. The lane was named after 'Old Hockley' who was the gamekeeper for John Penn, Esq. of Stoke Park who owned the two cottages which stood beside the brook at the southern end of the lane.	A, B, C, F	30
	Hollybush Hill	Post Office Cottages	Terraced residential cottages	The row of cottages have dominated the area of Bells Hill. The only Post Office in the village was located in the row of cottages nearest to Bells Hill. In 1910 the Post Office moved from the General Store, Bells Hill run by Mr Joseph Squib to a new row of cottages and run by Mr Edward Cook. He retired in 1925. The Clerk who worked for Mr Cook, married Charles Harding. Dorothy and Charles Harding ran the Post Office there on the corner until it closed in the 1960s in order to move across Bells Hill into a new shopping centre. The cottages have featured on old post cards and calenders of scenes in the village.	A, B, C, D, F, G	31
	Hollybush Hill	1 and 2 Vine Cottages	Semi detached residential cottages	The pair of cottages are believed to be nearly two centuries old, as per maps, built before 1846. Prior to the Inclosures in the 1820s they were allotments. Due to their age, these are the only known example of such cottages in the Parish. Built of old red brick which was most probably sourced locally from Kiln Lane (now called Rogers Lane) brickworks. They have a clay tile roof and on the first floor are the old small light casements with bars and segmental arch heads.	A, B, C, D, F, G	32
	Hollybush Hill	Fern Hill	Detached residential house	Originally known as the 'Old Wooden House' built by Arnott and Sowerly who opened a builder's yard there and did much work on Sefton Park - late Victorian period. Mapping from the late 19th century also shows the named as Stoke Cottage. It was lived in during the early 20th century by Frederick Tarrant, the sexton at St Giles' church, Stoke Poges. The light casements all have board shutters which match the front door.	A, C, F	33








Photo	Location	Property	Asset type	Special Local Interest	Criterion	Map Reference
	Hollybush Hill	The Hollies	Detached residential house	The original site of the Hollies and adjacent to the demolished Stoke Lodge, formerly named Rose Cottage had been built around 1830. It is built in a Regency style with many former outbuildings at the rear, now upgraded as one house. In the early 20th century, General Lewis Jones lived in Stoke Lodge (Chairman of Stoke Poges Parish Council from 1927-1935) and Mrs Sutton in The Hollies.	A, C, F	34
	Hollybush Hill	1 and 2 The Hollies Cottages, Deans Lodge and Grays Lodge	Terraced residential cottages	The row of cottages were built after the early 19th century enclosure of Stoke Common and had been built by the 1840s, as per maps. They are some of the oldest and rarest cottages in the Parish. They are built of a mix of coloured old brick with slate roof.	A, B, C, D, F, G	35
	Hollybush Hill	Woodlands	Semi detached residential house	Formerly an old clay pit. Woodlands was a substantial 1880s house with several outbuildings, set in grounds with woodland walks. 1882-3 the house was restructured by Mr G. Almond, builder of Burnham, under the superintendence of Messrs. Thurlow & Cross, architects. In 1884 it was bought by Queen Victoria's surgeon-extraordinary, Sir William Scovell Savory Bt. (1826-1895). One of his successors, the third baronet, William Borradaile Savory, was High Sheriff of Buckinghamshire from 1922-25. In the mid-1930s it was the residence of Air Chief Marshal Sir Robert Brooke-Popham. (Census and Kelly's directories refer). During the second part of the 20th century the house was subdivided into two separate dwellings.	A, B, C, F, G	36
	Hollybush Hill	Woodland Royd	Semi detached residential house	Located within the Framewood Road Conservation Area.		37
	Hollybush Hill	Hollybush House/Woodlands Cottage	Semi detached residential house	The substantial sized semi-detached homes of the late 19th century are considered to be used as out buildings and staff quarters for Woodlands. The Old Cottage is believed to have some 17th century remains and was two workers cottages. They have a group value with Woodlands, Greenacre opposite, Old Hill House and Hill House as the properties all in close proximity to one another of a similar period. Located within the Framewood Road Conservation Area.	A, B, C, F, G	38
	Hollybush Hill	The Old Cottage	Semi detached residential house			39
	Hollybush Hill	Greenacre	Detached residential house	Part of the property dates back of two centuries when there was at least one cottage on the site. During the 20th century there were two cottages which were converted into one dwelling. In the late 20th century the property was upgraded and extended. It is said that the persons living in the cottages worked serving the surrounding new 'middle class' residents in their new homes by operating a laundry and bake house.	A, C, F	40





Photo	Location	Property	Asset type	Special Local Interest	Criterion	Map Reference
	Keen's Acre	East Lodge	Residential detached house	The site over two centuries ago of the eastern entrance to the policies of the Earl of Sefton's Sefton Park estate. Now a much larger footprint than originally. A landmark location on the sharp bend of School Lane; on the boundary of the built area of School Lane/Keen's Acre and the fields of Home farm, in addition to having a well used public footpath running along the eastern boundary. The property forms an important heritage link with the what was the much larger Sefton Park estate and today's Grade II Listed Sefton Park (the main house). Old Sefton Park estate maps at Bucks Archives refer.	A, F, G	41
	Lakeside Drive	Fire suction inlet supported by wall	Fire prevention structure	Built for the late 19th century to early 20th century fire fighting purpose for use on the Stoke Court estate and surrounding buildings. Located close to a sluice, controlling the water level from the upper lake, closest to Stoke Court. Referred to in the West End Conservation Area Character Appraisal report as a 'significant boundary wall'. A rare remaining structure of fire fighting industrial heritage on a small country estate.	A, B, C, E, F	42
	Martin's Plain	Jasmine Cottage	Detached residential house	The front aspect has similar characteristics to the two entrance lodges a short distance further along the road to the west which are called Bray Cottage & the workers lodge on main drive to Stoke Park (Grade II Listed). 19th century cottage of red brick with open lean-to porch. Close to the Stoke Park Conservation Area.	A, B, C, G	43
	Mobbs Close	25	Outbuilding	An unusual and rare structure without any records indicating its purpose, nor appearing on maps or heritage reports. At least for the 20th century it would have been located within the curtilage of the Grade II Listed Stoke House. It is possibly a safe dry store or shelter lodge as located near the old entrance from the public road to Stoke House front entrance. At least earlier than the mid-20th century. Flint and mortar wall with clay tile roof.	A, B, F	44



Photo	Location	Property	Asset type	Special Local Interest	Criterion	Map Reference
	Park Road	The Meads	Detached residential flats in one house	Built about a century ago, it is one of the few large houses built in that period remaining in the neighbourhood as other post WWII homes have replaced them and built in gardens. In the late 1930s it was lived in by Hugh Geoffrey Herrington CBE before moving during WWII to Clevehurst in Stoke Poges. He became Managing Director, High Duty Alloys Ltd in Slough. Also resident there was Colonel Wallace Charles Devereux from the mid-1930s until his death in 1952. They both worked in the same field of work: the light metal industry. The importance of the technical developments and facilities for aircraft production that he had brought about was made clear in the Second World War, during which Colonel Devereux was made Controller of North American aircraft supply in the Ministry of Aircraft Production; in this post he was responsible for organizing the reception, assembly and repair of American aircraft and their engines. He founded the Fulmer Research Institute in Hollybush Hill Stoke Poges to meet the urgent needs of industry for laboratories after the war. The house is close to the Stoke Park Conservation Area and the National Trust owned Gray's field	A, B, C, F	45
	Park Road	Garden Cottage	Detached residential cottage	The late Victorian cottage has group value with the surrounding nationally Listed lodges at the entrance of Stoke Park: the north driveway at Park Road, as well as Jasmine Cottage in Martin's Plain and the buildings of Stoke Park farm. Located in the Stoke Park Conservation Area.	A, B, C, D	46

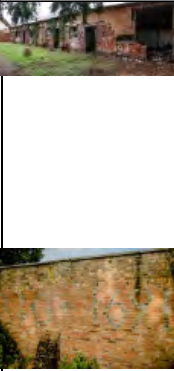




Photo	Location	Property	Asset type	Special Local Interest	Criterion	Map Reference
	Park Road	Stoke Park Farm west wall	Wall	Brick wall containing marks of R.G. 1691. The initials are believed by some local residents, previous local amateur historians and the current owner of the Stoke Park farm to be those of Robert Gayer, Lord of the Manor of Stoke Poges and owner of Stoke Park. In 1688, soon after William III ascended the throne, he visited Stoke Poges. On passing the Manor House, he expressed a wish to see it. But Sir Robert Gayer (R.G), the owner of the Manor House, in spite of his wife's entreaties, stoutly refused him admission saying, 'He has got possession of another man's house and he shall not enter mine'. The King, who was actually standing outside the gate, had to depart. Sir Robert died in 1702 and was succeeded by his eldest son, also called Robert, who sold the estate in 1724. Inclosure Award map of 1822 shows plot 434 with a dividing line where the wall is currently located. By the time of William Trumper's 1846 map, the line is more defined and further buildings in the area. It is thought by then there was the development of the walled garden and a market garden on-going for the Stoke Park estate. Some of the brick work appears to be 19th century, rather than more modern bricks. It's unlikely the wall is earlier than the 19th century. Located in Stoke Park Conservation Area.	A,B, F	47
	Park Road	Stoke Park Farm orangery	Orangery	The Victorian red brick and clay tile orangery is built against the north wall of Stoke Park farm, located in the Stoke Park Conservation Area. It has group value because of the similarity in red brick with the stableyard, east & west lodge (Grade II Listed), the surrounding walls and further away, the Manor house (Grade I Listed). It is a rare remaining feature which can not be seen at any of the old grand houses within the Parish.	A, B, C, F	48
	Park Road	Stoke Park Farm former Market Gardeners building	Detached residential dwelling	The Victorian building for a market garden that used to operate adjacent to Stoke Park farm. It had a state of the art heating system, allowing for heat to circulate under what is now the lawn of Stoke Park Farm. The structure underneath the ground floor level still exists and can be partially seen from the south aspect. A rare feature in the Parish, signifying the importance in Victorian and Edwardian period of market garden and kitchen garden to grow local produce for a large estate. It is located in the Stoke Park Conservation Area.	A, B, F	49
	Park Road	Pinegrove	Detached residential house	Post WW1, international sporting celebrity of the time, Mrs Ruth Durlacher lived in the house. She had previously lived in Larchmoor, Gerrards Cross Road and the White House in Park Road, whilst married to stockbroker, Nick Durlacher. She came from a wealthy Irish family, won various tennis tournaments including the prestigious All England Women's Doubles Championship. She also excelled in playing golf by representing Ireland and winning tournaments including the Ladies Championships of France. The property has group value with other large detached homes of the early 20th century along Park Road, such as Gateside and The Orchard.	D, F	50
	Rogers Lane	No. 129 Stoke Poges Village Centre	Parish Council Office, community hall and rooms and social club	Opened in 1913, it was built by the renowned local building firm of Hartley and Sons of Wexham. Funds were raised to build it from the local population. Lord Decies who was living opposite in Sefton Park contributed and Chaired meetings to see it built. Originally the building comprised a hall with dressing rooms and a Working Mens Club with billiard room and reading room. Over a century it has been the main centre in the village for the Parish Council and numerous other community activities. An extension to the building was carried out in 1996 which sympathetically matched up with the original architectural design and included enhanced the facilities for the Parish Council and Social Club. It is the most significant asset of community value in the Parish.	B, F, G	51








Photo	Location	Property	Asset type	Special Local Interest	Criterion	Map Reference
	Rogers Lane	121 - 127	Semi-detached residential houses	These homes are all of consistent character with that of the Post Office cottages at the junction of Bells Hill and Hollybush Hill, except for having long narrow front gardens. They are of the late Arts and Crafts style built (adopted for a pair of 1930s semi-detached houses with a central half-timbered double gable). A similar pair of semis in Duffield Lane called Hillcroft and Southcroft are documented as heritage assets in the West End Conservation Area character appraisal. They form a focal point adjacent to the Village Centre as well as being noticeable at the busy junction of the major north-south road of Bells Hill with Rogers Lane, therefore considered a landmark in the village street scene.	A, D, G	52
	Rogers Lane	St. Andrews Church Centre	Chapel	Built in 1935 for use as a Methodist chapel. By the 1950s, the vicar of Stoke Poges, Revd Bryant Bevan bought the disused chapel as the population around it significantly increased, post WWII. It opened up again as a Church of England place of worship but also for local community activities. It has community value. It is a focal point in neighbourhood because it is close to the primary school; adjacent to one of the main entrances to the public park and with a car park. The T-plan chapel is built of red brick laid in Flemish garden wall bond. High hipped roofs covered in plain clay tiles. On main ridge a diminutive octagonal bell-cote or louvre with green copper-covered roof. Arts and Crafts style. Located within the West End Conservation Area.	F, G	53
	Rogers Lane	Winterclyde	Detached residential bungalows	The house was built around mid-18 th century. It was in the mid-19 th century a bakery and later on a public house known as the Oddfellows Arms with a water pump outside. The property was at the heart of community living in the hamlet called West End (well before the development of Bells Hill shops) and so century or so gone by it was one of the main centres of population within the Parish. Located within the West End Conservation Area.	A, B, C, F, G	54
	Rogers Lane	Gladstone Villas 100-110	Terraced residential cottages	A row of terraced cottages with a plate on the building which reads 'Gladstone Villas 1880'. These were homes within the centre of the West End hamlet and most suitable for those working on the large estates in the area such as Stoke Court and Sefton Park. Located within the West End Conservation Area.	A, D, F	55
	Rogers Lane	86 to 92	Semi-detached residential houses	The houses were built in the late 1940s as semis of wood cladding, concrete base and brick chimney. They were imported from Sweden and referred to as Swedish Type 'A' prefabricated houses with ground floor 'wash house' extension. There were only a few thousand homes similar to these built in the UK. They are becoming rare, even resulting in some becoming nationally Listed. West End Conservation Area Appraisal and old Stoke Court estate maps refer.	B, C	56
	Rogers Lane	73, West End House	Detached residential dwelling	Formerly called, 'Little Place'- 19 th C. Located on a prominent site at the junction with Duffield Lane and opposite what was the old Dog and Pot public house. West End Conservation Area Appraisal and old Stoke Court estate maps refer.	A,F,G	57
	Rogers Lane	37	Detached residential house	A home built pre WWII thought to be for a Colonel Hodson whose son Felix resided there. It has distinctly different architectural style to surrounding houses such as the timber weatherboarding of the gable and front aspect having a pair of archways. A focal point within the road being located on the sharp outside of the bend without adjacent housing on one side, overlooking fields and public footpath to the south, thereby having a landmark status. Post WWII OS maps refers.	C,G	58






Photo	Location	Property	Asset type	Special Local Interest	Criterion	Map Reference
	School Lane	3	#SPILL!	The cottage is believed to have been built in about 1830 by John Hazell who built other cottages at that time in the lane. The cottage does not appear on earlier maps such as the Enclosure maps of the 1820s. He was the son of Betty Hazell who lived in the lane further north of this property. The road was originally called Hazell Lane until 1876 when the new school was built in the road. The cottage has been significantly updated and extended, yet retains on the front aspect the original 19th century style windows with segmental arches. The property has group value with Steep Hill cottage in School Lane.	A, D, F	59
	Stoke Court Drive	Tudor Rose	Residential detached house	Mock Tudor style, built between the World Wars with the whole site adjacent to the old carriage road to Stoke Court. Designed by a builder known for restoration of ancient buildings: Thomas Quarterman. He operated a business from Dorney and was known to restore properties in the neighbourhood. The oak timbers are thought to have come from demolished pubs in London and bricks from the local South Buckinghamshire area. His building work is written about together with similar building photographs in the book called, 'English Cottage interiors' by Hugh Lander and Peter Rauter, published by Orion. The property now has a landmark status in the roads since it is now surrounded by modern buildings built in the last four decades.	F, G	60
	Stoke Green	Garden Cottage in grounds of Stoke Place	Commercial hotel annex	The building is sited in the middle of an extensive one hectare kitchen walled garden forming part of the Stoke Place estate. Close by to north the public roadside boundary wall of the kitchen walled garden is Grade II Listed and in the other direct is Stoke Place house also Grade II Listed. The building is located in the Grade II Listed Park and Garden as well as being in the Stoke Green Conservation Area. The south and central sections of the walled garden is dominated by this early C19 house, built into the cross wall and overlooking both sections. The house was used for the gardeners working for the owners of Stoke Place: the Howard-Vyse family who owned it for 200 years from the 18th century to the late 20th century. The building has important group value not only with the different sections of walled garden but as an estate as a whole with close proximity to other staff quarters such as the entrance lodge and butler's cottage. It has been sympathetically restored to retain much of its original character including the hipped slate roof with a distinctive bell, sash windows and old yellow brick walls.	A, B, C, F	61
	Stoke Green	South and East kitchen garden wall, Stoke Place	Wall	The kitchen garden area was built in the 1820s for Major General R. W. Howard-Vyse. The grounds had been extended following the rerouting of the road further west and enclosure of Stoke Green to the north in 1822. The kitchen wall was built not just to help with cultivation but according to Howard-Vyse records, 'to keep vagrants and vagabonds out'. The wall is an integral part of the estate. The southern section is dominant as it overlooks the front of the house and the eastern section is beside the main entrance opposite the lodge.	A, B, C, F,	62
	Stoke Green	1 and 2 Stoke Green Cottages	Semi-detached residential houses	The pair of cottages were built for Henry H. Howard-Vyse of Stoke Place in the 1880s. They are believed to have been used by the large Howard-Vyse family as a residence. It forms group of cottages along Stoke Green, all within the Stoke Green Conservation Area. It has similar architectural features with the neighbouring Grade II Listed older Arbory Cottage, especially the light casements with diamond paned leaded lights.	A, C, D, F	63





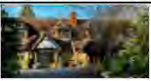










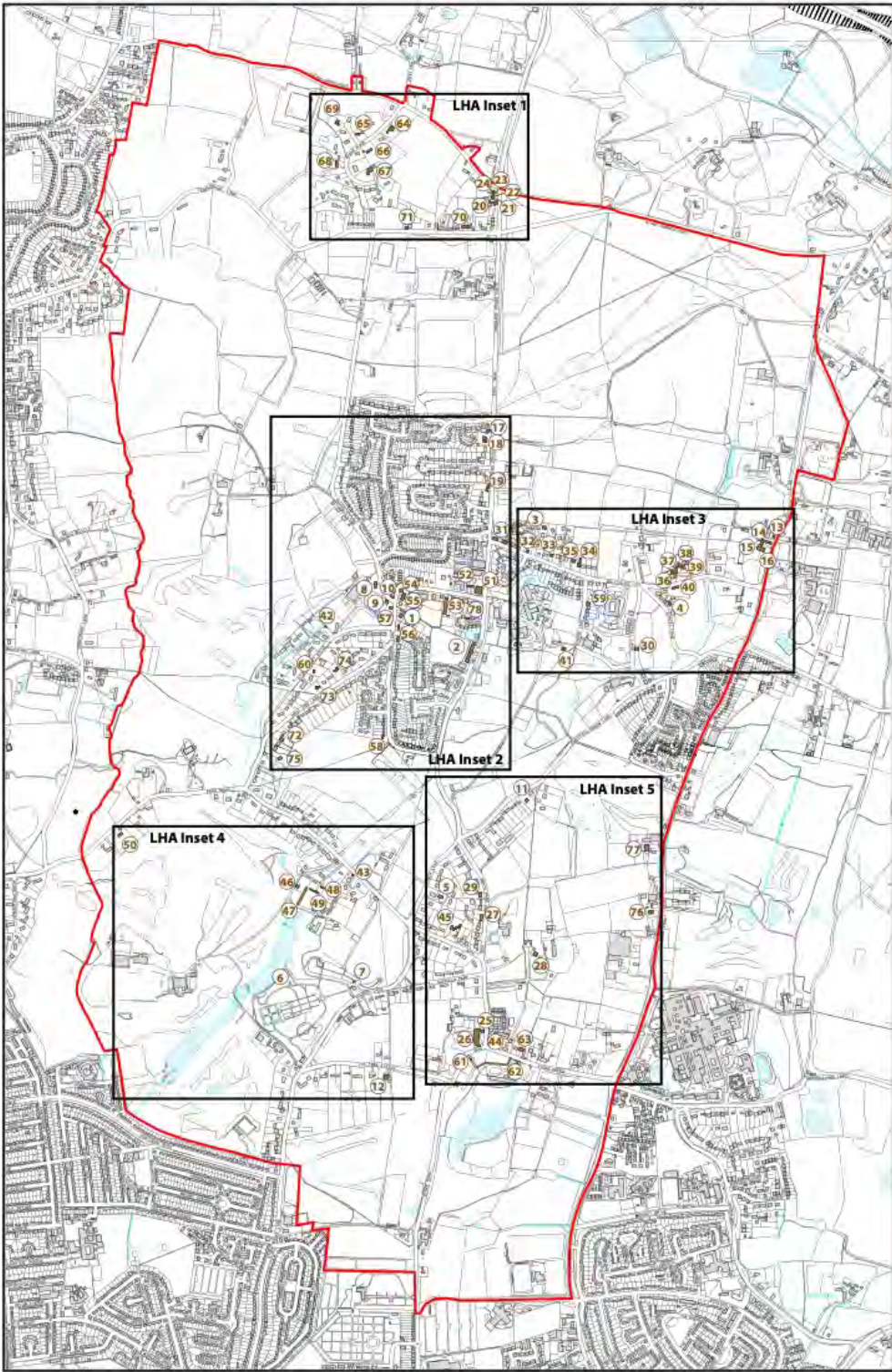

Photo	Location	Property	Asset type	Special Local Interest	Criterion	Map Reference
	Stoke Wood	Wood End	Residential detached house	The thatched house is one of the original houses designed and laid out by Percy Tubbs, Som & Duncan architects during World War II. It is in a style between Old English and Swedish modern with thatched roof, as described by the architectural historian, Sir Nikolaus Pevsner. The house has been modestly extended, yet retains its character.	B, C, F	64
	Stoke Wood	Dutch House	Residential detached house	One of the clutch of homes built in the mid-20th century with a Flemish gabled mansard roof. It has group value with other homes in the road of the same period and painted white, especially the house opposite - called Noah's Ark.	C, D	65
	Stoke Wood	Noah's Ark	Residential detached house	One of the clutch of homes built in the mid-20th century with a Flemish gabled mansard roof. It has group value with other homes in the road of the same period and painted white, especially the house opposite - called Dutch House.	C,D	66
	Stoke Wood	Stoke Thatchers	Residential detached house	One of the clutch of homes built in the mid-20th century which has been extended in character. It has group value with other homes in the road of the same period and painted white.	C, D	67
	Stoke Wood	Spring Cottage	Residential detached house	A late 20th century build, replacing an old house built in the mid-20th century. The architectural features of mock tudor and dormers to the front aspect add to the distinctive character of the home adding to the great variety of different architectural styles accomplished in properties within the small private road.	C, D	68
	Stoke Wood	Michaelmas Cottage	Residential detached house	One of the clutch of homes built in the mid-20th century which has been extended in character. It has group value with other homes in the road of the same period, especially those also painted white. Architecturally it has similar design featured in the local builder, William Hartley and Sons homes such as in Cherry Orchard, Stoke Poges.	C, D	69

Photo	Location	Property	Asset type	Special Local Interest	Criterion	Map Reference
	Templewood Lane	Jardine Cottages	Terraced cottages	Over 100 years old and displaying a plate in building of 1911. Built for the staff working for the owner of the Pickeridge estate on Stoke Common Road, Fulmer: the Jardine family. The name of 'Jardine' coming from the surname of the family who owned The Pickeridge, off Stoke Common Road, Fulmer. Mr Jardine had been an important British civil servant in India.	A, C, D, F	70
	Templewood Lane	former Mission Room	Store	The building based on map information and the Stoke Poges Parish Magazine certainly shows it in existence in the early 20th century. It is known from Stoke Poges Parish Magazine records in the 1920s, three activities took place in the building: 8am Holy Communion; 3pm Sunday school and 6.30pm Evening prayer. The Parish had a Vicar and a Curate to take the service but also in the 1920s a Captain from the Church Army. The Mission Room at an unknown date was disposed of by the Church. It is now privately owned. It has modern garage door fitted facing the road. On rarity value, few corrugated galvanised iron buildings over a century old are still standing and this is known to be the only such corrugated galvanised building in the Parish of Stoke Poges. It has an important old religious value of how the Church of England reached out to small communities who were some distance away from the Parish Church. It is most probable the building came from the late Victorian company of William Cooper and Boulton & Paul Ltd who were the two major suppliers of corrugated iron chapels in England.	A, B, C, F	71
	West End Lane	Willow Tree Cottage	Detached residential house	Thatch residential house, the eyebrows over the upper windows due to thatch and a rarely seen elongated bay window on first floor. 20thC build. Second half of 20thC known to have been the residence of John DM Snagge. He was one of the main voices to be heard on the BBC during WWII, including the announcement of the D Day landings. Also for decades, he was the commentator for the Oxford v Cambridge University boat race.	B, C, F	72
	West End Lane	Tudor Cottage	Detached residential house	Dr Bill Rhys Davies was the first General Practitioner in Stoke Poges when in the late 1940s he set up a surgery in The Hermitage, West End Lane. Then within the decade he had moved home across the road to Tudor Cottage to operate the surgery. This remained the village surgery until the move to Threeways, 84 Rogers Lane. Partial mock-Tudor architectural style. Early 20th century build virtually mirroring the design of nearby The Spinney in West End Lane.	C, F	73
	West End Lane	The Spinney	Detached residential house	The old part of the house was built around 1900 and closely mirrors the old part of Tudor Cottage (now two houses away). It has been extended yet the old build is the arts and craftstyle. The house has group value with several houses in West End Lane including Tudor Cottage and at the north end of the road: the later built former surgery of 84 Rogers Lane. Architectural interest with a catslide roof on the front aspect with timbers in the gable and a signature course blue brick on its front façade and very old timber beams believed to have come from an old building.	A, C, D	74
	West End Lane	Nonsense House	Detached residential house	One of the earlier houses in West End Lane - along with The Spinney and Meawdocroft. Post WWI. All of an age. The plot of land was sold in 1906 by Mary Bryant of Stoke Park and by 1935 was already named the 'Nonsense House'. Purportedly used to house famous actors post WWII whilst they were working at Pinewood film studios.	A, C, F	75
	Wexham Street	Berry farmhouse	Detached residential house	On maps going back to the early 19thC, said to have a much old fireplace possibly 17thC. It has been used as a farmhouse for several centuries	A, C, F	76
	Wexham Street	Nully Nursery	Commercial detached former barn	Formerly an outbuilding of Grange Farm and before that in early 19thC was Bumby's farm building.	A, C	77
	Willow Park	9	Detached residential house	Based on mapping it would appear to be an early 20th century building with the typical whitewash of the period, thatched residential home.	B, C	78

Stoke Poges Neighbourhood Plan Local Heritage Assets Map

March 2024



 Neighbourhood Plan Area

 **SP7: Local Heritage Assets**


1. 9 Aldridge Place
2. Sefton Park Cottages
3. 24 Broom Hill
4. 7 Chapel Lane
5. Meads Paddock
6. The Right Honourable Lady Juliana Penn Commemorative Urn
7. Lych Gate
8. Little Mount and The Gatehouse
9. Mulberry Cottage
10. Ashcroft
11. Farthing Green House
12. Calladown
13. Eight Acres Farm
14. The Old Pottery
15. Hill House
16. Old Hill House
17. Firecroft Cottage
18. Firecroft Court
19. Clevehurst Lodge
20. Fox and Pheasant Public House
21. Post Cottage
22. Annes Cottage
23. Lidstone Cottage
24. The Cottage
25. The Lodge of Duffield House
26. Duffield House
27. Meads Lodge
28. Snitterfield House
29. Wharncliffe
30. Orchard Cottage
31. Post Office Cottages
32. 1 and 2 Vine Cottages
33. Fern Hill
34. The Hollies
35. 1 and 2 The Hollies Cottages, Deans Lodge and Grays Lodge
36. Woodlands
37. Woodland Royd
38. Hollybush House/Woodlands Cottage
39. The Old Cottage
40. Greenacre
41. East Lodge
42. Fire Suction Inlet Supported by Wall - Lakeside Drive
43. Jasmine Cottage
44. 25 Mobbs Close
45. The Meads
46. Garden Cottage
47. Stoke Park Farm West Wall
48. Stoke Park Farm Orangery
49. Stoke Park Farm Former Market Gardeners building
50. Pinegrove
51. No. 129 Stoke Poges Village Centre
52. 121-127 Rogers Lane
53. St. Andrews Church Centre
54. Winterclyde
55. Gladstone Villas 100-110
56. 86-92 Rogers Lane
57. West End House
58. 37 Rogers Lane
59. 3 School Lane
60. Tudor Rose
61. Garden Cottage in Grounds of Stoke Place
62. South and East Kitchen Garden Wall, Stoke Place
63. 1 and 2 Stoke Green Cottages
64. Wood End
65. Dutch House
66. Noah's Ark
67. Stoke Thatchers
68. Spring Cottage
69. Michaelmas Cottage
70. Jardine Cottages
71. Former Mission Room
72. Willow Tree Cottage
73. Tudor Cottage
74. The Spinney
75. Nonsense House
76. Berry Farmhouse
77. Nuffy Nursery
78. 9 Willow Park

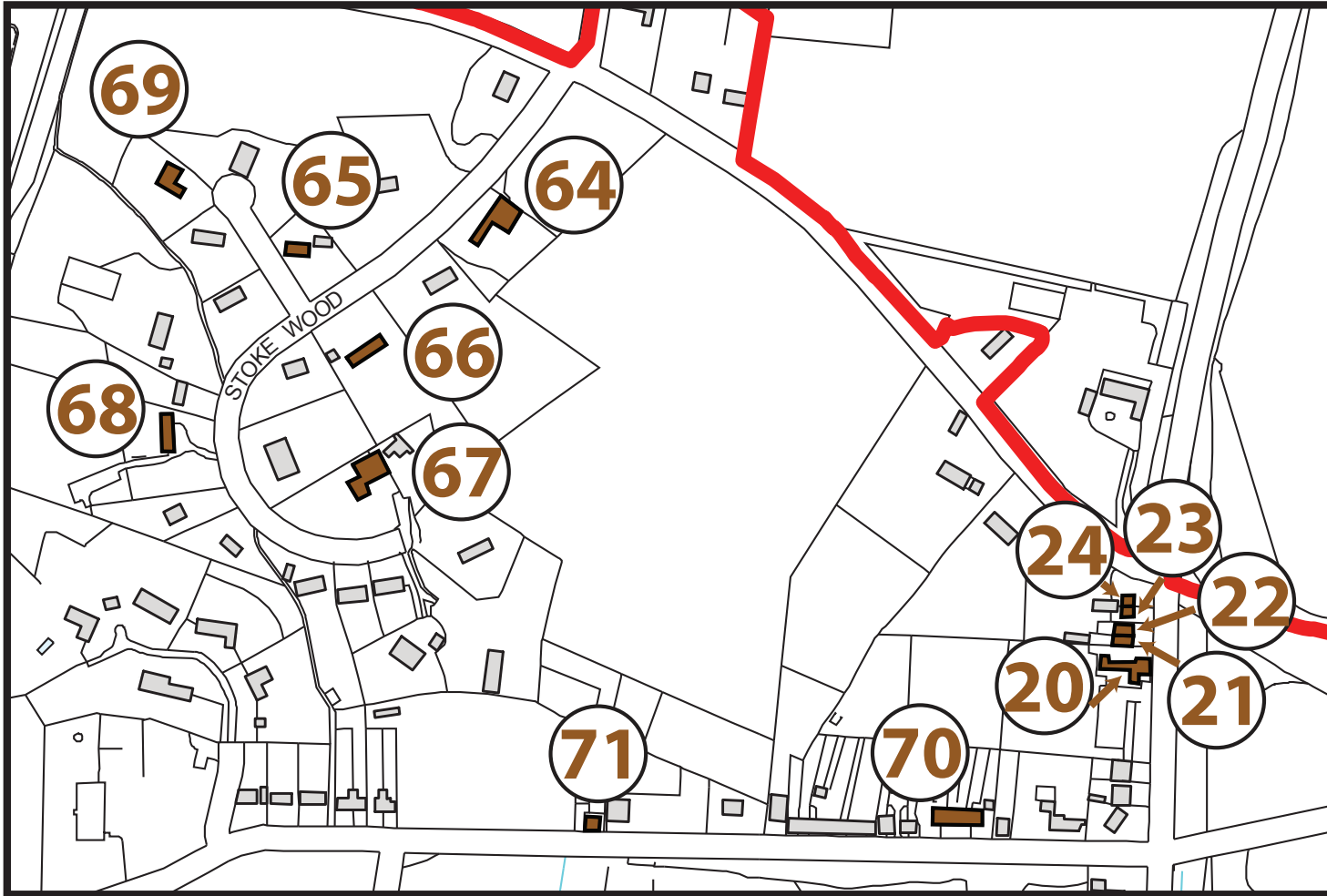
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Stoke Poges Neighbourhood Plan Local Heritage Assets Map - Inset 1

March 2024

SP7: Local Heritage Assets

-  20. Fox and Pheasant Public House
- 21. Post Cottage
- 22. Annes Cottage
- 23. Lidstone Cottage
- 24. The Cottage
- 64. Wood End
- 65. Dutch House
- 66. Noah's Arc
- 67. Stoke Thatchers
- 68. Spring Cottage
- 69. Michaelmas Cottage
- 70. Jardine Cottages
- 71. Former Mission Room



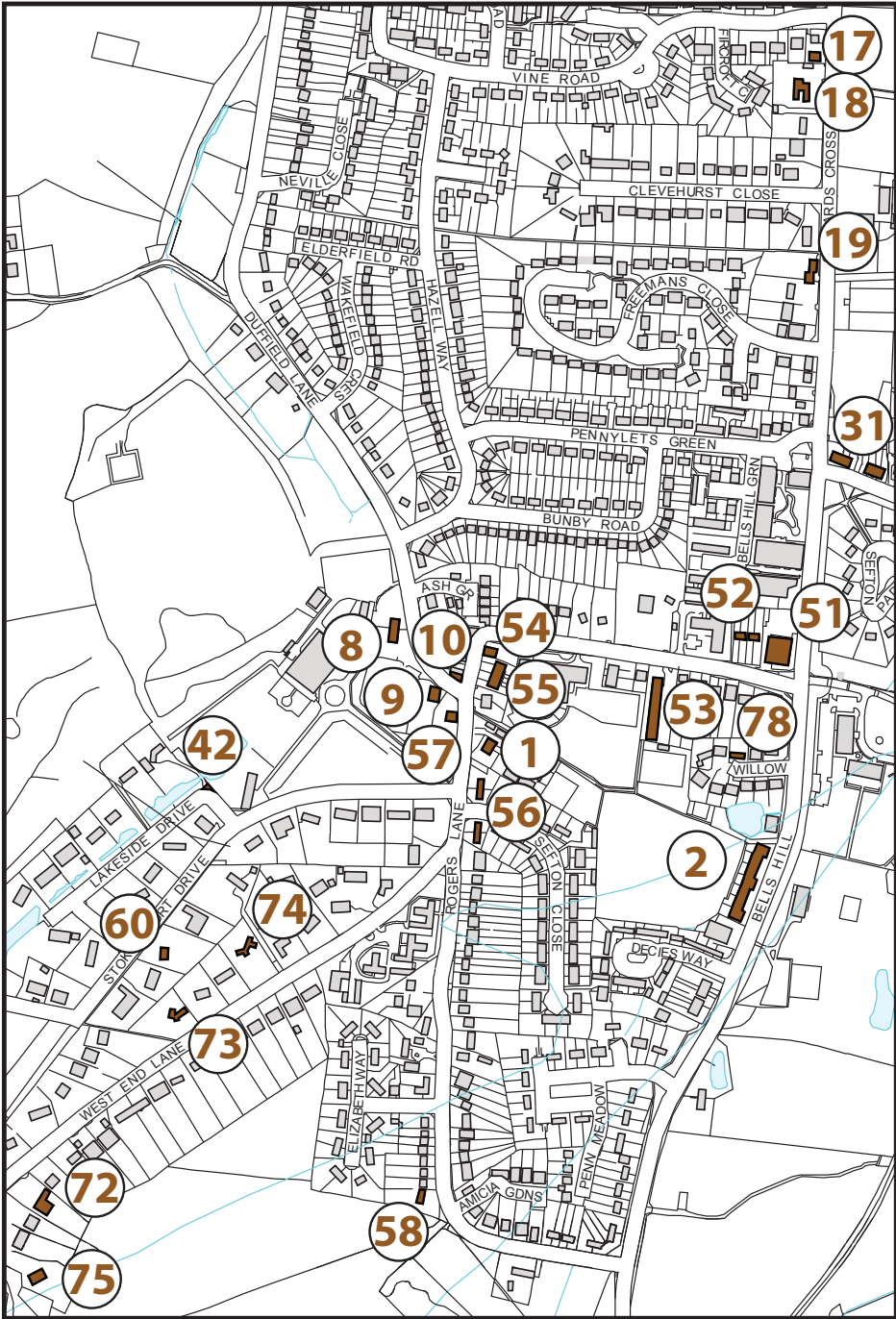
Stoke Poges Neighbourhood Plan Local Heritage Assets Map - Inset 2

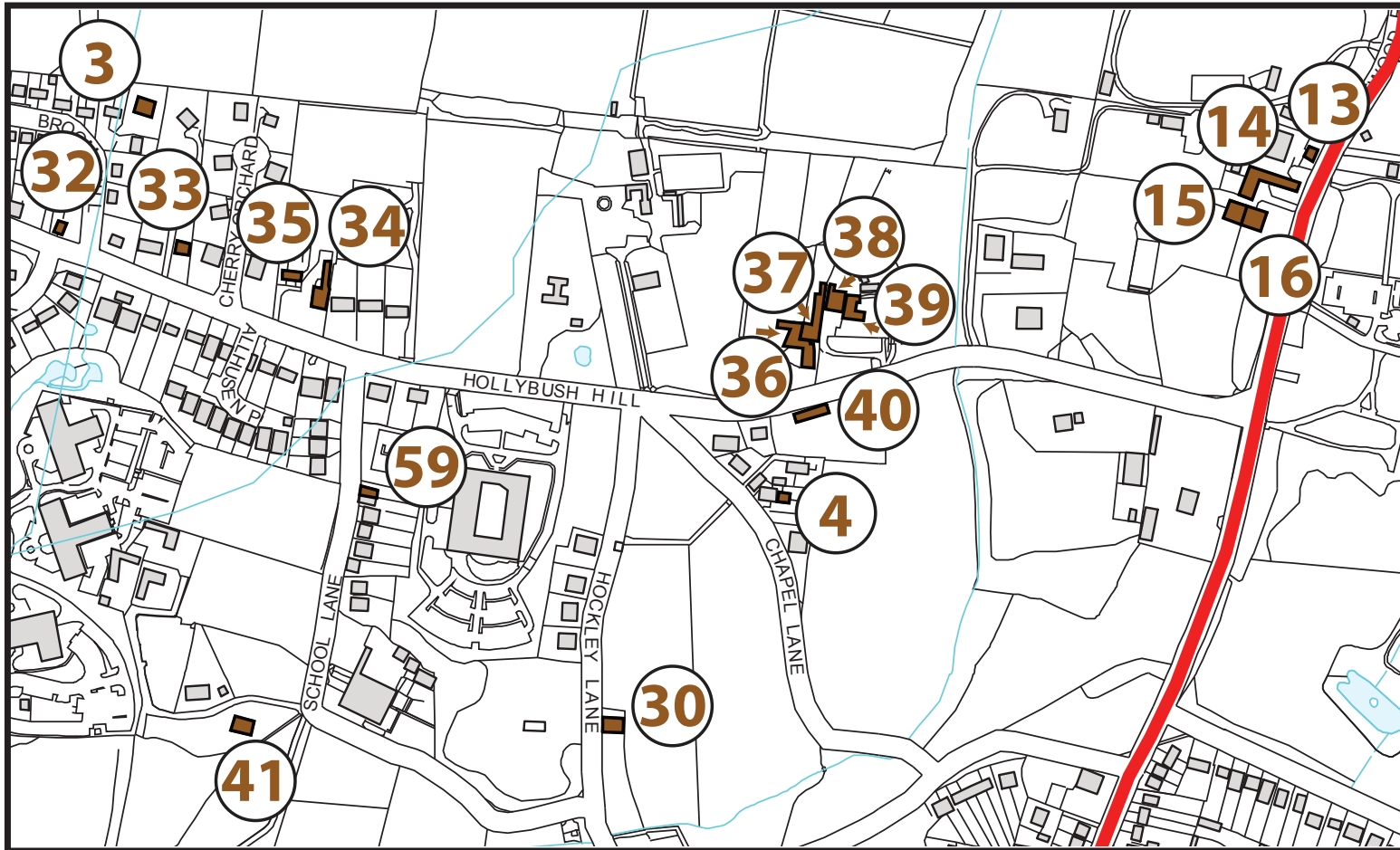
March 2024

SP7: Local Heritage Assets



- 1.9 Aldridge Place
- 2. Sefton Park Cottages
- 8. Little Mount and The Gatehouse
- 9. Mulberry Cottage
- 10. Ashcroft
- 17. Firecroft Cottage
- 18. Firecroft Court
- 19. Clevehurst Lodge
- 31. Post Office Cottages
- 42. Fire Suction Inlet Supported by Wall - Lakeside Drive
- 51. No. 129 Stoke Poges Village Centre
- 52. 121-127 Rogers Lane
- 53. St Andrews Church Centre
- 54. Winterclyde
- 55. Gladstone Villas 100-110
- 56. 86-92 Rogers Lane
- 57. West End House
- 58. 37 Rogers Lane
- 60. Tudor Rose
- 72. Willow Tree Cottage
- 73. Tudor Cottage
- 74. The Spinney
- 75. Nonsense House
- 78. 9 Willow Park





Stoke Poges Neighbourhood Plan Local Heritage Assets Map - Inset 3

March 2024

SP7: Local Heritage Assets

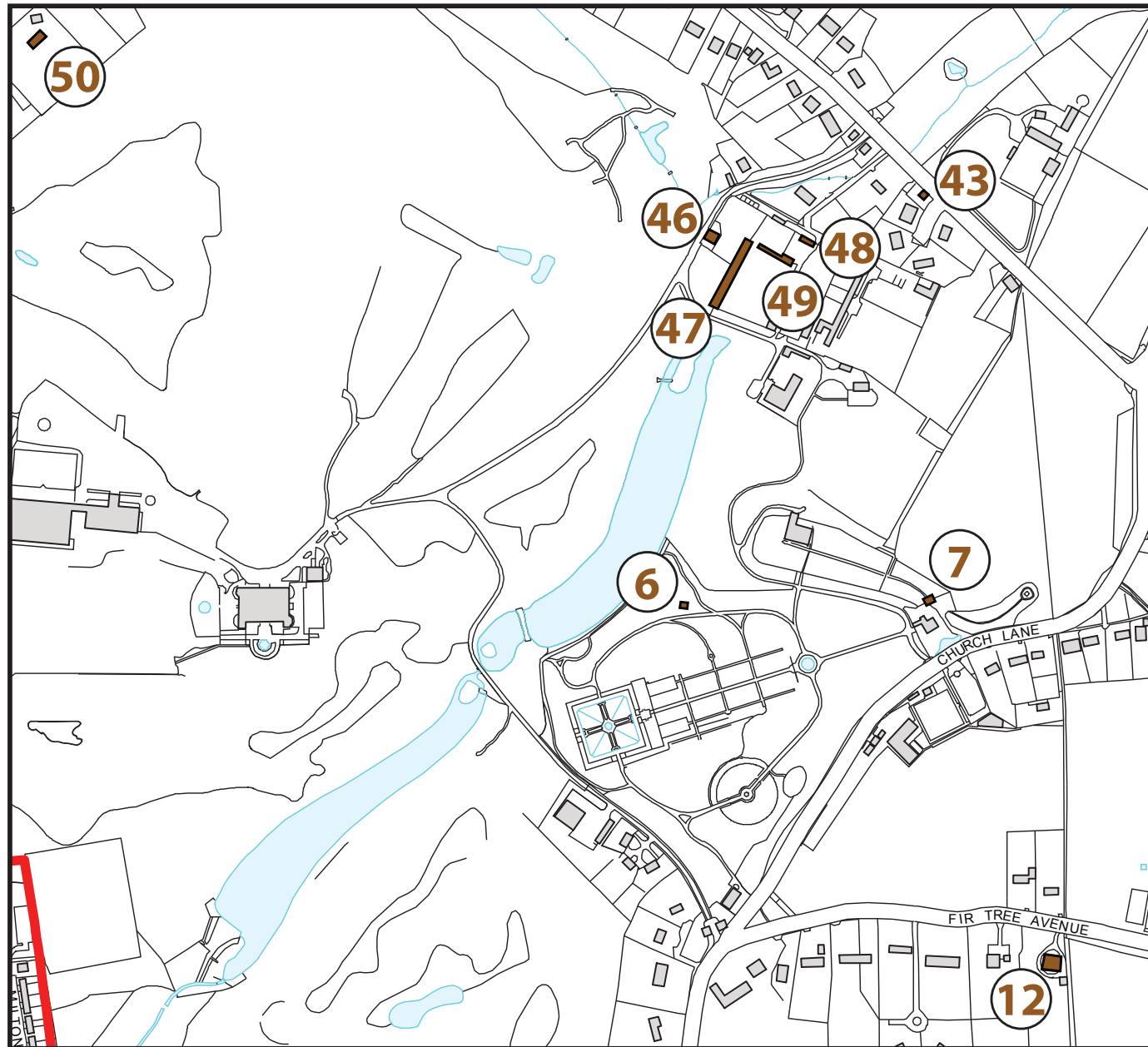
-  3. 24 Broom Hill
- 4. 7 Chapel Lane
- 13. Eight Acres Farm
- 14. The Old Pottery
- 15. Hill House
- 16. Old Hill House
- 30. Orchard Cottage
- 32. 1 and 2 Vine Cottages
- 33. Fern Hill
- 34. The Hollies
- 35. 1 and 2 The Hollies Cottages,
Deans Lodge and Grays Cottage
- 36. Woodlands
- 37. Woodland Royd
- 38. Hollybush House/Woodlands
Cottage
- 39. The Old Cottage
- 40. Greenacre
- 41. East Lodge
- 59. 3 School Lane

Stoke Poges Neighbourhood Plan Local Heritage Assets Map - Inset 4

March 2024

SP7: Local Heritage Assets

-  6. The Right Honourable Lady Juliana Penn Commemorative Urn
- 7. Lych Gate
- 12. Calladown
- 43. Jasmine Cottage
- 46. Garden Cottage
- 47. Stoke Park Farm West Wall
- 48. Stoke Park Farm Orangery
- 49. Stoke Park Farm Former Market Gardeners Building
- 50. Pinegrove

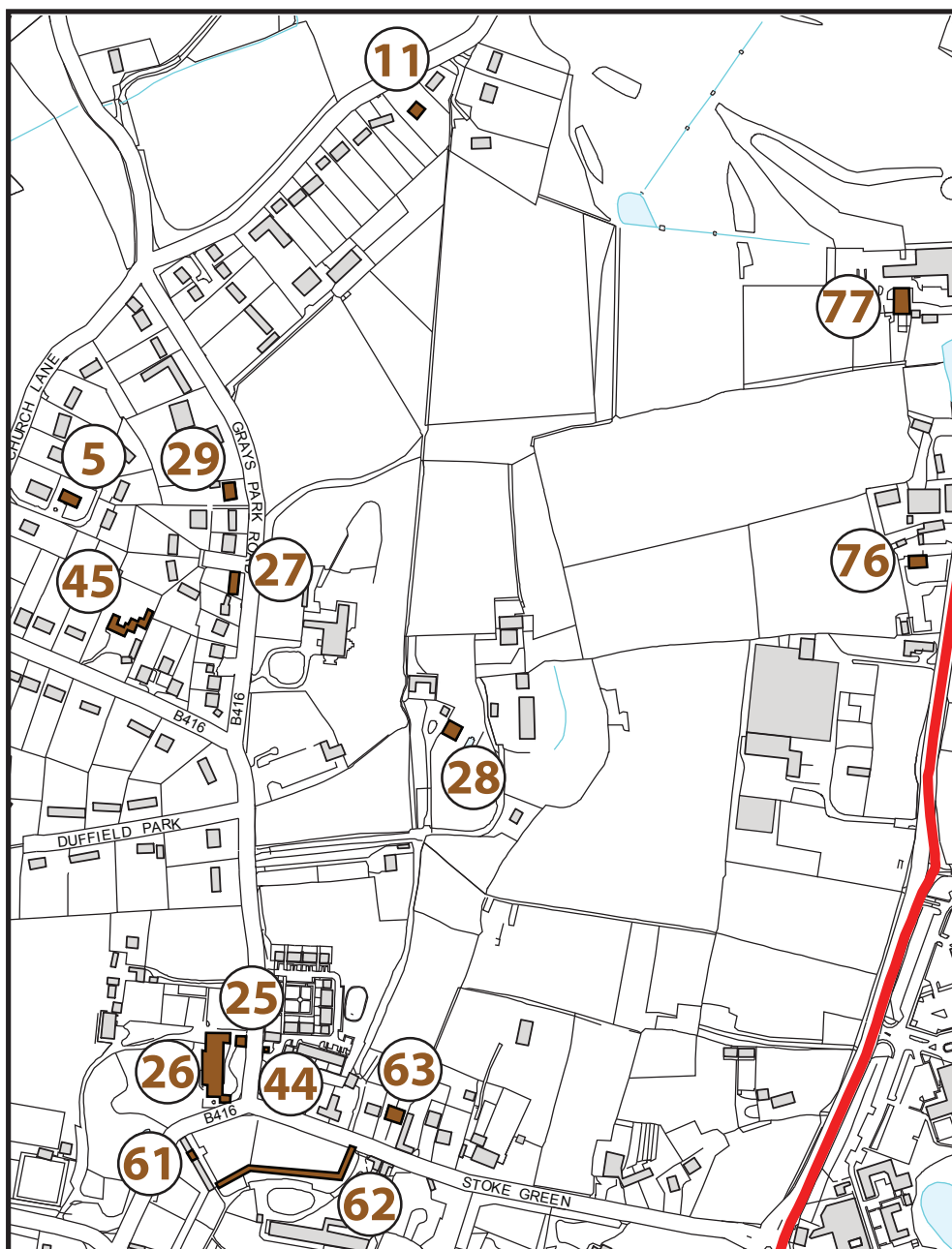


Stoke Poges Neighbourhood Plan Local Heritage Assets Map - Inset 5

March 2024

SP7: Local Heritage Assets

-  4. 7 Chapel Lane
- 5. Meads Paddock
- 11. Farthing Green House
- 25. The Lodge of Duffield House
- 26. Duffield House
- 27. Meads Lodge
- 28. Snitterfield House
- 29. Whamcliffe
- 44. 25 Mobbs Close
- 45. The Meads
- 61. Garden Cottage in Grounds of Stoke Place
- 62. South and East Kitchen Garden Wall, Stoke Place
- 63. 1 and 2 Stoke Green Cottages
- 76. Berry Farmhouse
- 77. Nuffy Nursery



Stoke Poges Neighbourhood Plan
Green Infrastructure Plan

Bob Crocker
August 2023

Preamble

This document sets out a series of ideas concerning the Green Infrastructure in and around the Parish of Stoke Poges, and ways to move around both within the Parish, and to surrounding communities and facilities, without the need of a motor car.

The world and its communities will have to adapt to changing times, both by desire and legislation, and in particular they will have to accommodate the reduction on the reliance of fossil fuels. This is already leading to an exponential growth in electric motor vehicles, but also the introduction of electric bicycles, and hopefully, walking. There is also the need to accommodate the growth in the elderly population of the Parish. It is therefore the intention of this document to suggest some ideas that might help the community to adapt to these changes in the longer term so that the Green Spaces become more accessible and appreciated, but also there safe and accessible ways in which to move around the Parish without the need of a car.

Stoke Poges Neighbourhood Plan
Green Infrastructure Plan

Bob Crocker
February 2022

1. Introduction

A “Green Infrastructure” is defined as a “network of multi-functional green space and other green features, urban and rural, which can deliver quality of life and environmental benefits for communities.”.

Green infrastructure is not simply an alternative description for conventional open space. It includes parks, open spaces, playing fields, woodlands – and also street trees, allotments, private gardens, green roofs and walls, sustainable drainage systems and soils. It includes rivers, streams, canals and other water bodies, sometimes called ‘blue infrastructure’.

This document sets out a vision for a Green Infrastructure for the Parish of Stoke Poges in Buckinghamshire.

Stoke Poges is a Parish in the very southernmost part of Buckinghamshire with a population of approximately 4500 residents. It has always been described as semi-rural because it is fortunate to be surrounded by many areas of natural and historical beauty but is also close to industrial and commercial centres. It has modern communication links with motorways and railways close by which will, in due course, be supplemented by the arrival of the Crossrail rail route into central London.

The fact that the village is surrounded by many areas of natural beauty, but it is close to other conurbations, means it is important to develop a Green Infrastructure (GI) Plan to ensure these areas are protected for future generations but also to contribute to development of sustainable and ecological facilities for the residents.

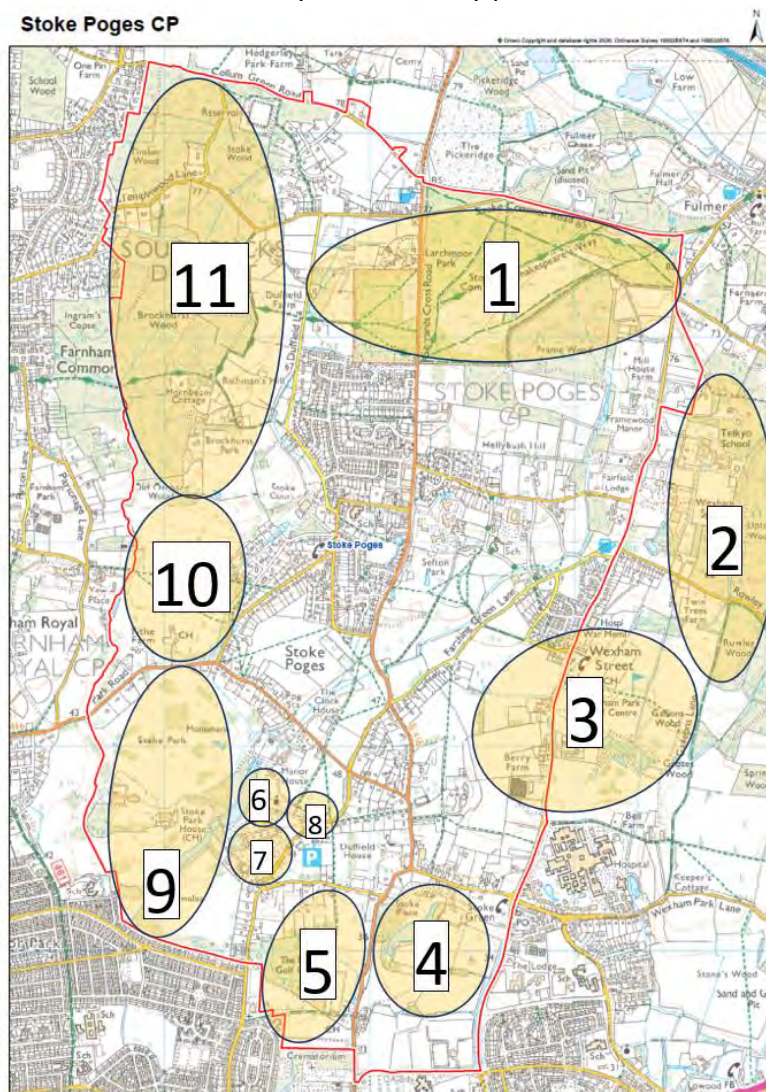
The aim of the GI Plan set out in this document is to identify the key existing natural, historic, cultural and landscape assets, accessible greenspace and rights of way and to plan new features that will provide an inter-connected network of green infrastructure for the benefit of present and future generations.

The objectives of this GI Plan are to create a comprehensive document that will assist the local community to:

- Protect and where possible enhance the landscape, biodiversity and the historic environment
- Improve access and links for people and wildlife
- Provide a multi-functional inter-connected green infrastructure network
- Provide a source of information and guidance for planners, landowners and developers in formulating land use plans
- Promote community involvement
- Identify projects and produce an action plan to implement projects

2. GAP Analysis

All Neighbourhood Plans have a section called the GAP analysis which examines how to maintain a green gap between the area in question and surrounding areas. The GAP analysis for Stoke Poges Parish is contained in a separate document but a map of the surrounding areas is included here to demonstrate the extent of open spaces surrounding the Parish, and the extent to which they are currently protected.



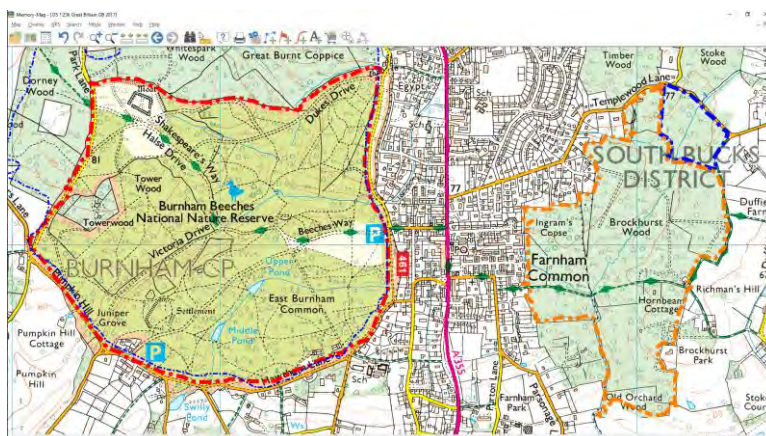
The Parish boundary is marked in red

Stoke Poges has the following surrounding areas, starting to the northwest and working clockwise:

<u>Area</u>	<u>Designation</u>
1. East and West Commons	SSSI
2. Black Park	Council-owned country park
3. Wexham Golf Course	Privately owned
4. Stoke Place Hotel and grounds	Privately owned but Listed
5. The Lanes Country Park	Council-owned country park
6. Stoke Poges Church	Church of England
7. Memorial Gardens	Council owned
8. Gray's Monument	National Trust
9. Stoke Park Golf course	Privately owned but Listed, freehold held by Bucks Council
10. South Bucks Golf Course	Council owned, freehold held by Bucks Council
11. Brockhurst Wood/Timber Wood/Stoke Wood	Privately owned

In addition to these specific areas the whole of the area surrounding the village is within the Metropolitan Green Belt and includes two SSSI areas and three Conservation Zones.

As stated above, the GAP analysis is the subject of a separate document. However, one area merits further mention in this Green Infrastructure document and that is Brockhurst Wood, the area numbered 11 on the map above. This is a magnificent beech wood of some 80 hectares which is largely unspoilt but currently unmanaged. The map below illustrates the location and reference for the following comments.



The Parish to the west of Stoke Poges is Farnham Common and that contains the world-famous Burnham Beeches, ringed in red on the map. This is an area of 192 hectares of woodland that is now owned and managed by the Corporation of London. Brockhurst Wood, ringed in orange on the map, is equally rich in its natural content of flora, fauna and waterways and the suggestion here is to open negotiations with the Corporation of London to buy Brockhurst Wood and create a further area of National Nature Reserve. The northern part of Brockhurst Wood, ringed in blue on the map, was sold off to private buyers on the premise the new owners would eventually build dwellings. Planning permission does not exist for these dwellings, and hopefully never will, but the rest of the wood could be protected in perpetuity by the creation of a protected resource.

One of the reasons for including this particular area in this document is that Farnham Common, the nearest village to the west of Stoke Poges, has a particularly attractive range of shops, restaurants, pubs and the local library and is well connected to Stoke Poges via a beautiful and direct path through Brockhurst Wood, which should be exploited perhaps as first priority of any of the suggestion herein.

Once again although specifically not part of the GI plan there is another area of interest which is worthy of mention herein. Buckinghamshire Council have a Climate Change and Air Quality Strategy within which they are planting new woods, the first of which has been planted adjacent to Black Park, (see Appendix 5). Stoke Poges took the lead on this some years ago with the planting of Nettleship Wood in the north of the Parish. The suggestion in this document is for Bucks Council, or indeed the Parish Council, to negotiate to purchase Magnolia Farm which is adjacent to the B416 and opposite the southern end of Rogers Lane. This is a 4 hectare site and would form a perfect woodland barrier to encroaching development from the south. It is currently unused and unmanaged and has been the subject of Planning Applications which were unsuccessful but would have resulted in inappropriate development in the Green Belt.

3. Identification of Existing Infrastructure

The Parish of Stoke Poges is very roughly rectangular, extending approximately 5km (3miles) in the north/south direction and 2.6km (2 miles) east/west. There are four main settlements; the largest is the actual village of Stoke Poges, then two smaller areas called Wexham Street and (officially un-named) Park Road/Church Lane, and finally a fourth and much smaller area called Stoke Green. The most southerly part of the Parish, extending south for approximately one kilometre from Stoke Green to the border with Slough, has very little housing.

The four settlement areas are well connected by road and there are existing public right of way footpaths between them. However, as described in more detail in later sections, the inter-connecting footpaths do not currently lend themselves to frequent use and consequently most journeys between these areas of the Parish are by motor vehicle.

As a semi-rural community the Parish is naturally well served by green spaces within and between these areas. Appendix 1 contains an inventory of the green spaces within the Parish boundaries. Many of these are already well maintained, for instance the Recreation Grounds in Bells Hill and Plough Lane, and indeed some are protected through official status such as Sites of Special Scientific Interest (SSSI) and Conservation Areas. Other areas are privately owned but even then there is a network of Public Rights of Way (PROW) which run across most of them.

These various sites contain the whole spectrum of natural features such as woodland, meadows, cultivated farmland, open heath. The natural land contours mean there is no risk of flooding within the Parish but there are many small streams and ponds, both natural and ornamental, all of which add to the diversity of the Parish.

The upshot of the existing infrastructure is that there is little need to increase the amount of Green Infrastructure within the Parish. However, there is significant need to improve the quality of the inter-connectivity between the various sites and of course to protect what is there from threats such as creeping urban development.

The latter issue of threat to the Green Infrastructure is particularly relevant at the southern boundary of the Parish where Slough is the neighbouring authority. Slough has well-publicised ambition to expand northwards and so the establishment of a GAP plan to protect the Parish of Stoke Poges is paramount.

In terms of the inter-connectivity of the various green and open spaces within the Parish there is already a well-established network of PROW. Once again there does not seem to be any requirement to improve the ability to access one area from any other in terms of legal right of way permission. However, the condition of the existing rights of way mean most connectivity is currently via a motor vehicle as against on foot or by bicycle. So this document contains a discussion on what might be done to improve the non-vehicular inter-connectivity of the green spaces identified in Appendix 1, including of course accessibility for the disabled.

4. Aspirations for the Local Access Network

4.1 General Considerations

There are a number of villages and other significant places, (such as the local hospital, various pubs, library and shopping facilities), within a relatively short distance of the centre of Stoke Poges.

The existing Public Rights of Way (PROW) network allows almost all of these to be accessed on foot with very little distance on, or crossing of, public highways. However, many of these routes are only designated as public footpaths, not cycle or bridleways. The result is that many of them experience low footfall because, for instance, families cannot cycle as a group, or push a pram or buggy along them. In addition most of them are not suitable for access by wheelchair.

The aspiration of this GI Plan is therefore to upgrade these routes so that they are safe and easy to navigate, without difficult obstacles such as stiles or kissing gates that will not accommodate a bike, buggy or wheelchair. It should also be recognised that as the green revolution develops, and the population is encouraged to avoid internal combustion car journeys, the use of electric bikes will dramatically increase and so the local travel network infrastructure should prepare for this.

The creation of these routes should be accompanied by a campaign to raise awareness in the first instance but also to maintain that into the future. Consequently the routes should be named ("SafeRoutes" is a suggestion for consideration) and signage should be installed to encourage travel along them with no anxiety about "getting lost". Stoke Poges Common which is already an SSSI has maps at its access points which graphically guide visitors around the common and indicate points of interest. Similar maps could be introduced around the area to encourage interaction with the local environment.

There are two factors which underly any discussion of SafeRoutes; the first is the surface of the routes and the second is the design of access and egress gates. The surface of a SafeRoute will no doubt be controversial. Many of the footpaths in the Parish are probably centuries old and have served well as footpaths. However, they will not readily accommodate anything other than a well-shod walker and the whole purpose of these routes is to enable a far wider cross-section of the community to use them. The "paving" of these routes should be seen as an evolutionary step to permit this wider use but no doubt it will be viewed as vandalism by some.

The proposal in this document is that funding and permissions should be sought to "pave" these routes with the type of surface which is now commonly found in the country parks in the county, and indeed many parks and public areas around the country. A guide to typical surfaces approved by local authorities is shown in Appendix 2 of this document.

The second common factor is access. It is perfectly reasonable that when a public right of way crosses land which might support livestock then there should be some form of controlled access. This takes a number of forms in the case of footpaths such as stiles, kissing gates, and cattle grids but most of these from impassable barriers to bikes, buggies and wheelchairs. Consequently this document suggests the use of a new form of gate, christened the SafeRoute Gate, that will allow access by all groups but retain the security of livestock at boundaries, and restrict the access by any form of motor vehicle. The SafeRoute Gate is described in Appendix 3.

The SafeRoutes within the central area would all benefit from lighting. In the past this would introduce insurmountable cost and difficulty in providing power for such lighting. However, with the development of modern LED lighting, and simultaneously the enormous improvement in localised

solar-generated electricity and compact powerful batteries, it is entirely feasible that each lighting unit along a SafeRoute could be individually self-sufficient. Typical units are illustrated in Appendix 4.

There will be costs involved in the creation of these SafeRoutes and it is therefore important that whatever is done is done properly so that the result is increased usage. However, as the use of fossil fuel diminishes, and the community is encouraged to exercise and use electric-assisted transport, they will become increasingly important and worthwhile and sustainable asset.

4.2 Routes within the central areas

There is a natural centre to the main village of Stoke Poges. This comprises the village green which has at its southern edge the local shops including a supermarket, post office, pharmacy and coffee shop, and at its northern edge the Doctors surgery. There is a small general store in Wexham Street but generally speaking the whole Parish is served by the facilities around the Stoke Poges village green.

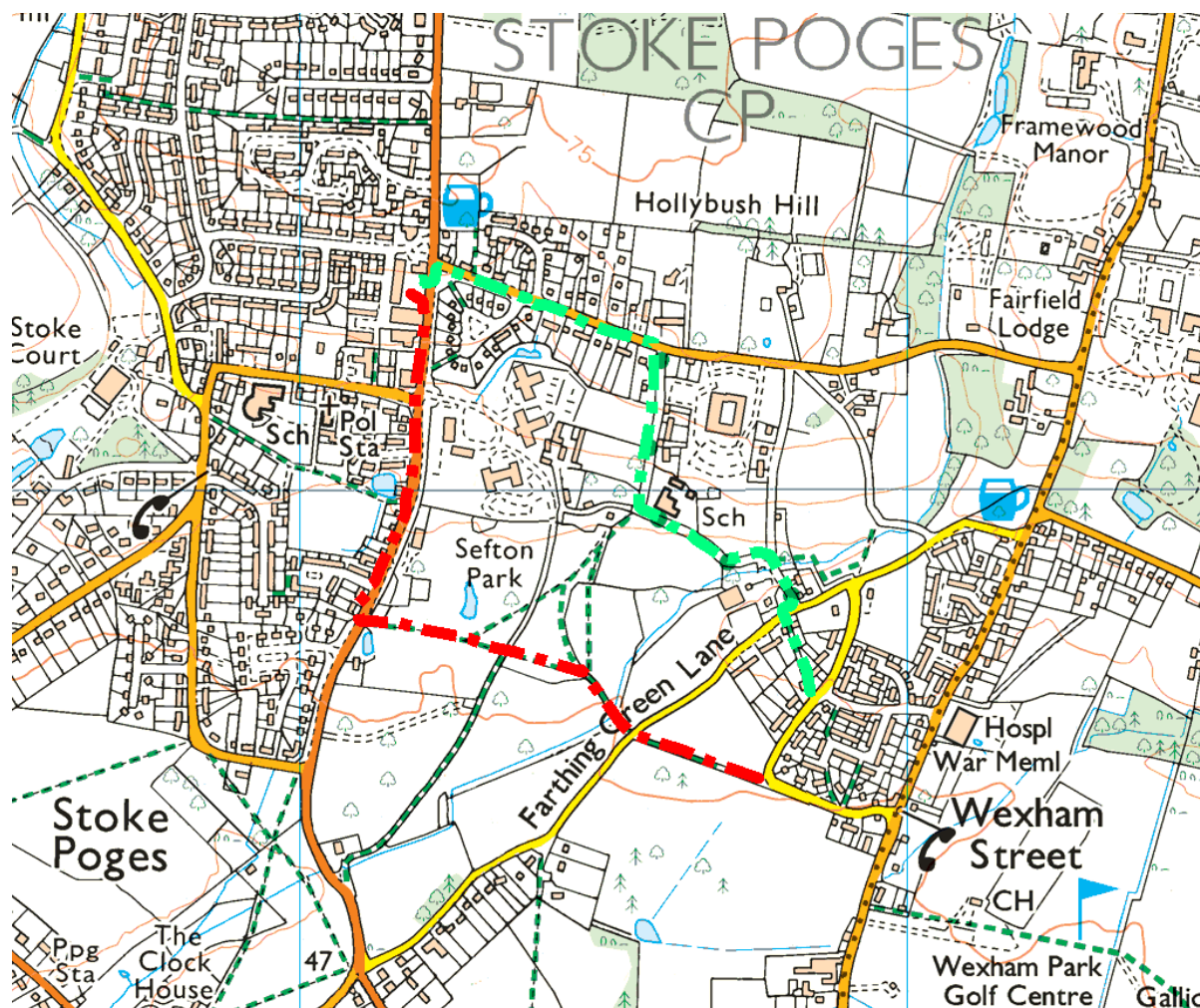
Access to these facilities is well-served within the village of Stoke Poges and there seems little that needs improvement. The various green spaces can be accessed readily and, unlike routes to surrounding communities, are suitable for both pedestrian, wheelchair and bicycle use.

As stated elsewhere the various communities within the Parish are well connected by footpaths but the vast majority of travel between the communities is currently by motor vehicle because the footpaths are not well signed, or in good condition for anything other than well-shod pedestrians.

The following sections describe suggestions for improvement of the non-motor-vehicle SafeRoutes between the major population centres of the Parish.

4.2.1 Wexham Street to Stoke Poges centre

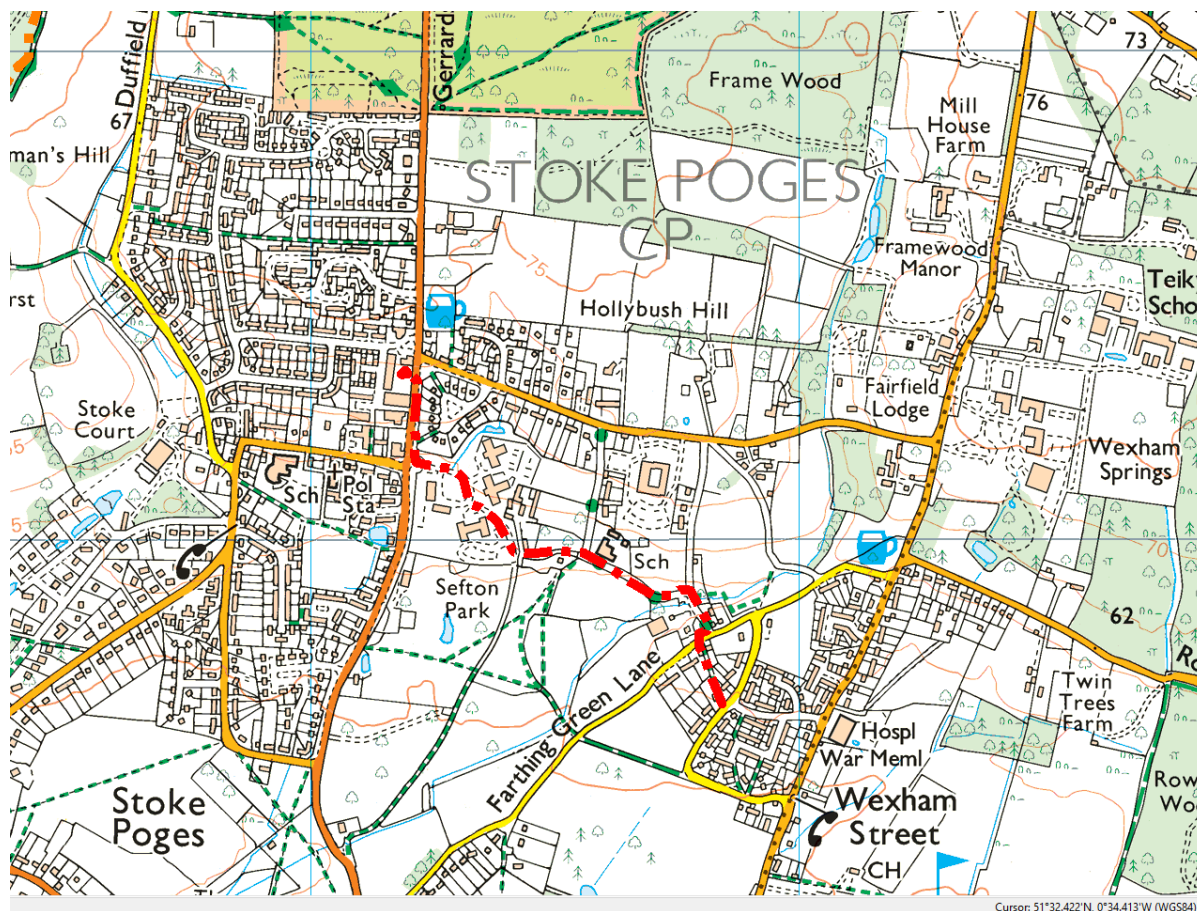
There are two natural pedestrian routes between the two centres. The northern route shown in green is passable for pedestrians, cyclists and wheelchairs but involves almost entirely travelling on the pedestrian pavements of public roads, some of which are not in good condition and almost all of which do not have dropped kerb access for wheelchair users. However, it is currently by far the most used route because the alternative southern route, shown in red, is far from accessible to anyone other than a pedestrian.



The footpath shown in red is a PROW that crosses Home Farm and the Sefton Park estate but there are several muddy sections and four kissing gates. This route would benefit enormously from the upgrades discussed above, i.e. paving with a sympathetic surface, SafeRoute gates and LED lighting. There will no doubt be objections to this from the owners of the land even though the path itself is a PROW. However, the benefit if agreements could be reached, would be significant.

The final part of this route would be along Bells Hill, B416, from approximately opposite Decies Way to the crossing point at the Village Centre, or even better the light controlled Panda crossing on the village green. The road at this point is bordered by a beautiful grass verge up to 30m wide which has a line of deliberately planted mature trees. There is already an ad hoc path created primarily by dog walkers which runs up the side of verge away from the road. It would be a straightforward exercise in which to create the appropriate surface form this to act as a SafeRoute. There would then be a direct, almost traffic-free Safe Route joining the two communities of Stoke Poges and Wexham Street.

A possible alternative, although unlikely to succeed, is to request permission for a SafeRoute access from Keen's Acre into the Sefton Park commercial park, as shown in red on the map below.



Older residents remember this as the main route between Stoke Poges and Wexham Street many years ago but the site was sold off and the new owners created a modern commercial estate, housing the offices of several major companies via a security-controlled access from Bells Hill. The route from the site to Keens Acre is now fenced off. If a pedestrian entrance could be agreed it would form a level route almost all of which is already a negotiable surface from the two major communities of the Parish. The suggestion would be to negotiate with the Sefton Park owners to create a Permissive Path access for pedestrians, wheelchairs and cyclists, which could be locked at the discretion of the owner, the obvious times being the hours of darkness.

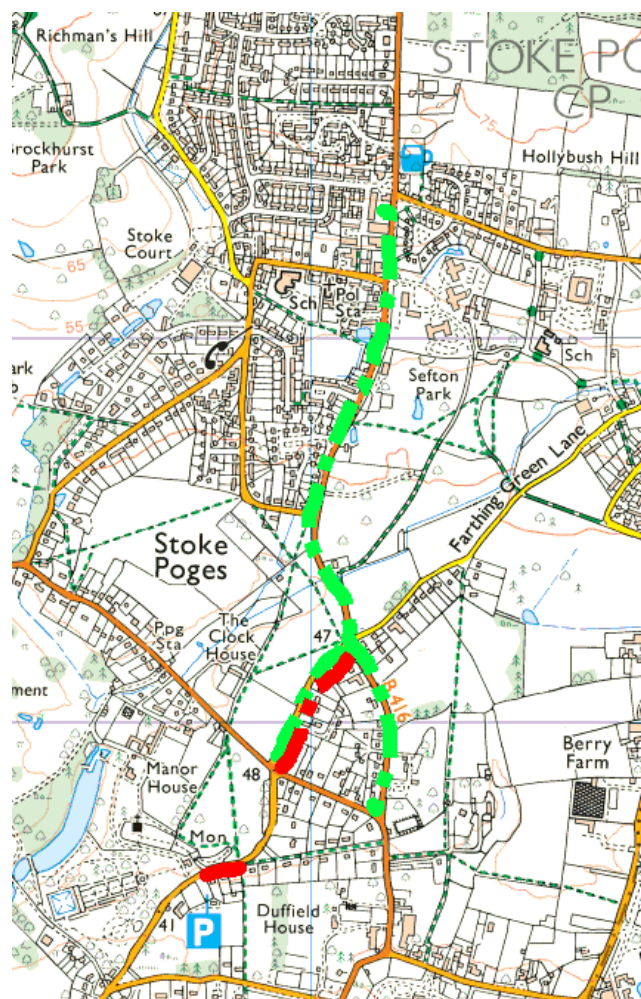
4.2.2 St Giles Church/Memorial Gardens/ Church Road/B416 to Stoke Poges centre

This route mainly follows the route of the B416. There is a good pedestrian pavement that runs along most of the northerly section from the crossroads of the B416 Grays Park Road, Church Lane and Farthing Green Lane which enables all categories of pedestrian, cyclist and wheelchair to travel between the centres. However, there are two significant areas of concern for this route; and they are both an absence of pedestrian pavement.

The first is at St Giles Church. There is a short section of road, approximately 100m long, that runs from the entrance to the church to the entrance to the Memorial Gardens without a pedestrian pavement, marked in red on the map below. For a non-motorist of any description approaching the Memorial Gardens this represents a dangerous journey on a busy road with speeding traffic.

The second section is Church Lane from the junction with the B416 to Park Road which is also without a pedestrian pavement, also marked in red on the map below. This is a very busy section of road and it is currently extremely dangerous to walk along it as a lone pedestrian, let alone pushing a buggy.

In the greater scheme of things improving both these sites would be a *relatively* straightforward and cheap exercise bringing huge safety benefits for the residents.



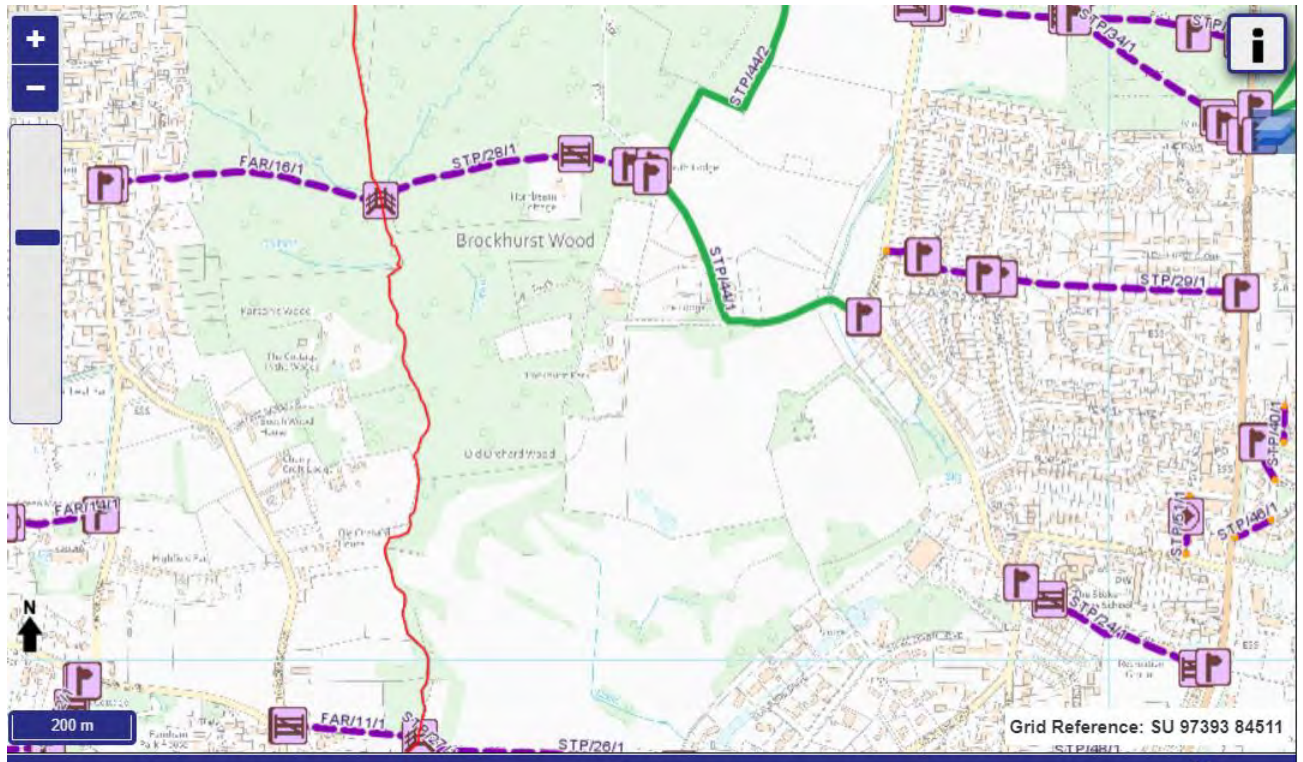
There is an alternative footpath across the adjoining field that gives a safer route from the main village to St Giles but that will not assist the residents of this part of the Parish.

4.3 Routes Connecting to other Communities and Facilities

4.3.1 Public Rights of Way.

This is an example map of the Public Rights of Way (PROW) published by Bucks Council which shows every signpost, stile, gate, bridge and of course path and bridleway. This one has been chosen as an example because it fits nicely on a landscape illustration and has signposts, a gate and a bridge. The footpaths are in blue and bridleways in green. It shows the centre of Stoke Poges to the right and the path through Brockhurst Wood to Farnham Common. The red line running almost vertically is the Parish Boundary between Stoke Poges and Farnham Common.

What it does not show is the condition of any of these features.

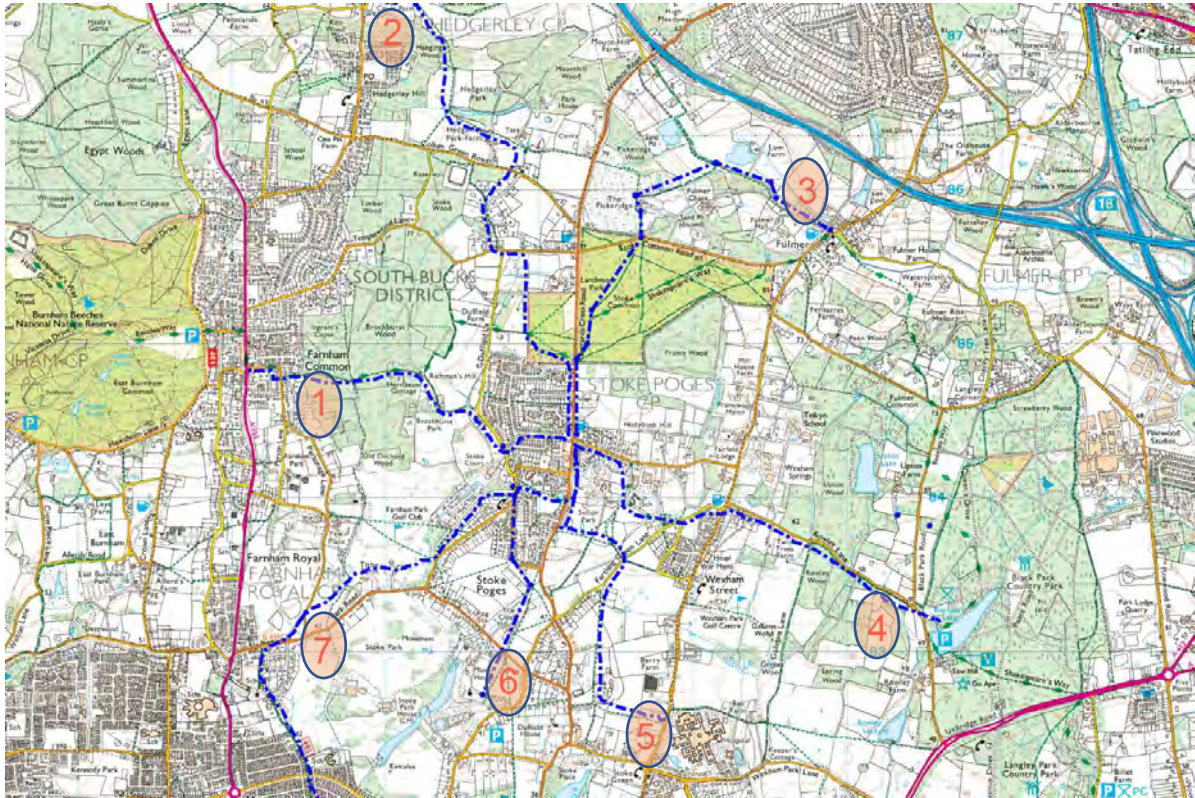


4.3.2 Proposed SafeRoutes

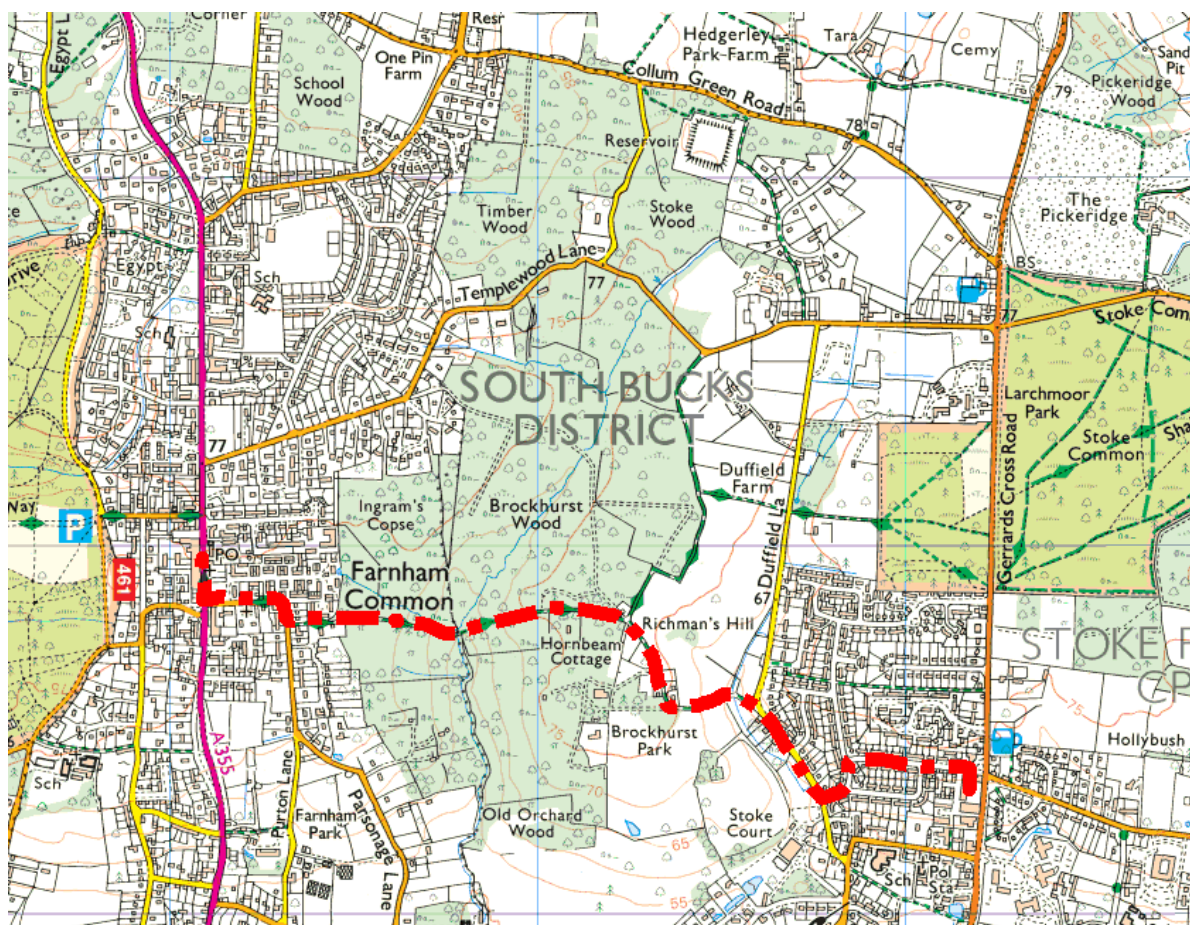
The map shows seven routes which are classed as primary destinations for local journeys. These are numbered in clockwise order and described in the following sections.

Many of the routes already consist of PROW. However, there are some shortfalls where the creation of new rights of way, or at least permissive rights, are required. These are detailed in the individual descriptions of each route.

As stated elsewhere the primary considerations for these routes are the nature of their surface and access and egress via suitable gating. Without these any other work will be largely ineffective.



Route 1: Stoke Poges village green to Farnham Common village and Burnham Beeches



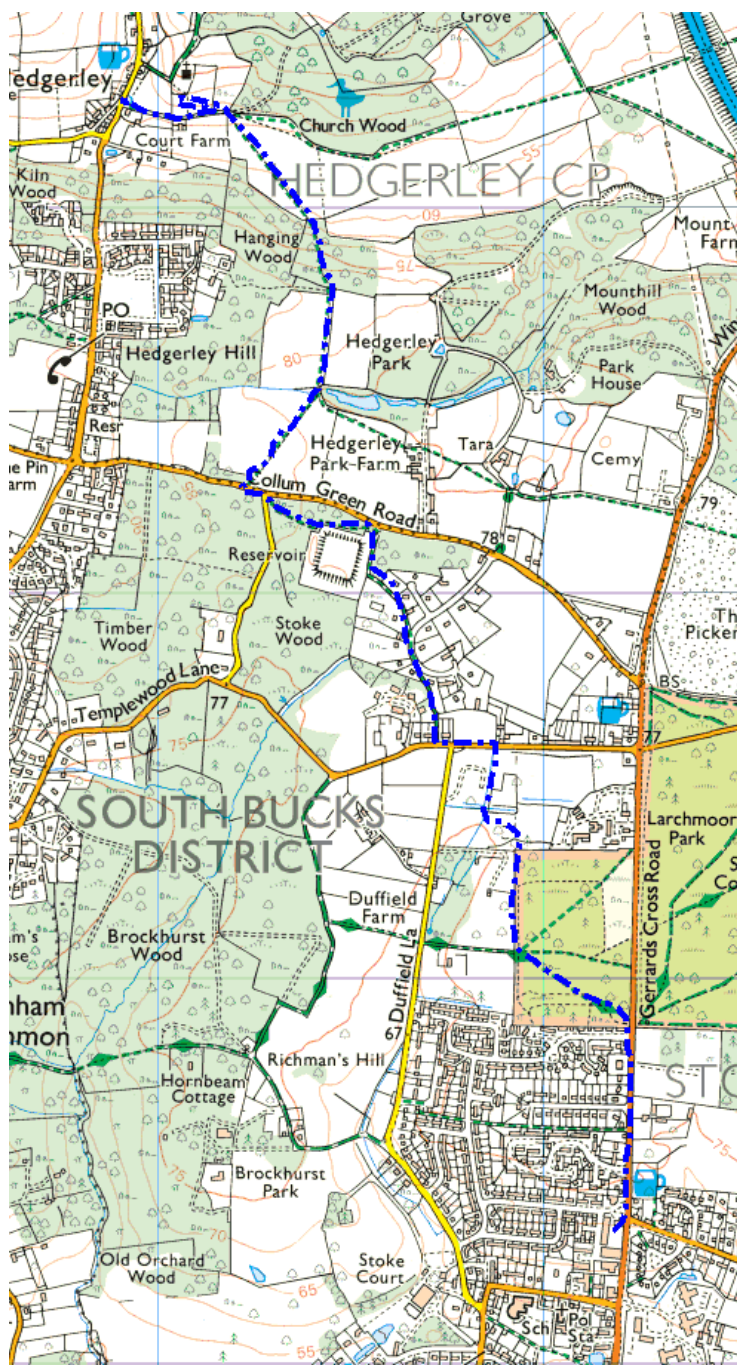
Destination: Shopping, cafes, restaurants, pubs, and world-famous Burnham Beeches woodlands.

Route Length: 2.8 km

Existing: Public bridleways and footpaths with bridleway, kissing gate and constriction.

Aspiration: Upgrade existing footpaths to SafeRoute with appropriate access control.

Route 2: Stoke Poges village green to Hedgerley



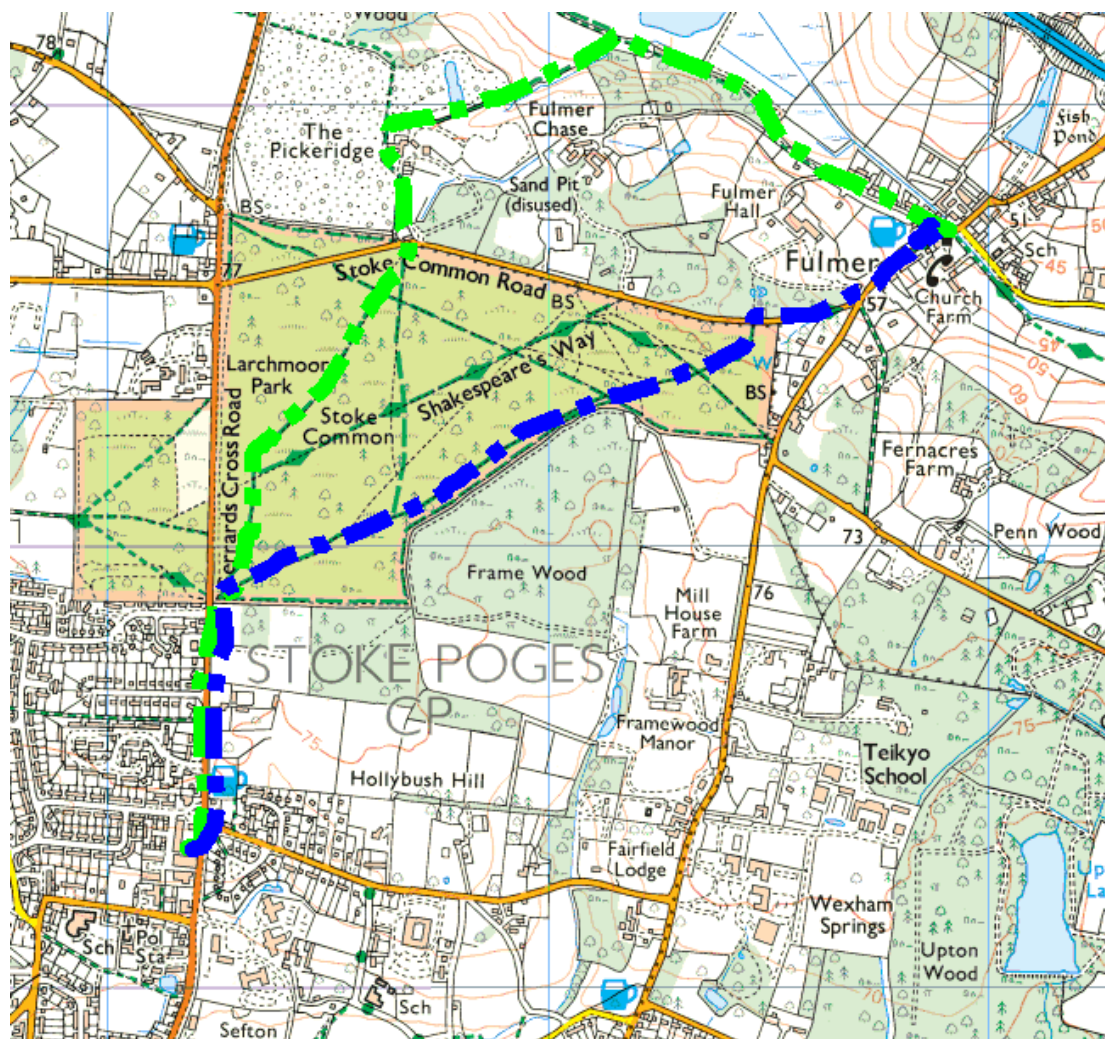
Destination: Hedgerley Village centre with pub

Route Length: 4.4 km

Existing: Public bridleways and footpaths with bridleway, kissing gates and stiles.

Aspiration: Upgrade existing footpaths to SafeRoute with appropriate access control.

Route 3: Stoke Poges village green to Fulmer



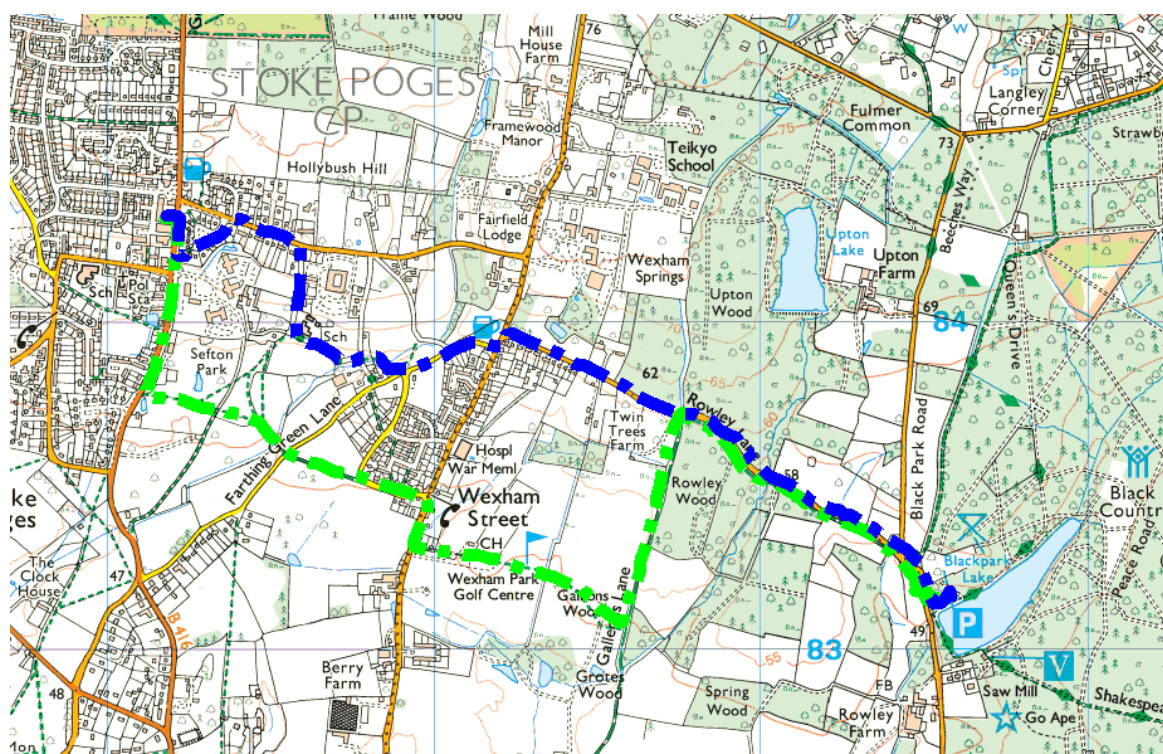
Destination: Village centre, nursery school, Black Horse pub, sports grounds.

Route Length: Blue Route 2.6 km, Green Route 3.4 km

Existing: There are two possible routes to Fulmer. The Blue Route is more direct but there is a gap of 300m at the end of Fulmer Common Road which constitutes a dangerous section of the journey unless in a motor vehicle. The Green Route is longer but takes in beautiful countryside and is almost free of public highway.

Aspiration: Upgrade existing footpaths to SafeRoute with appropriate access control, and 300 m pavement on Blue Route.

Route 4: to Black Park



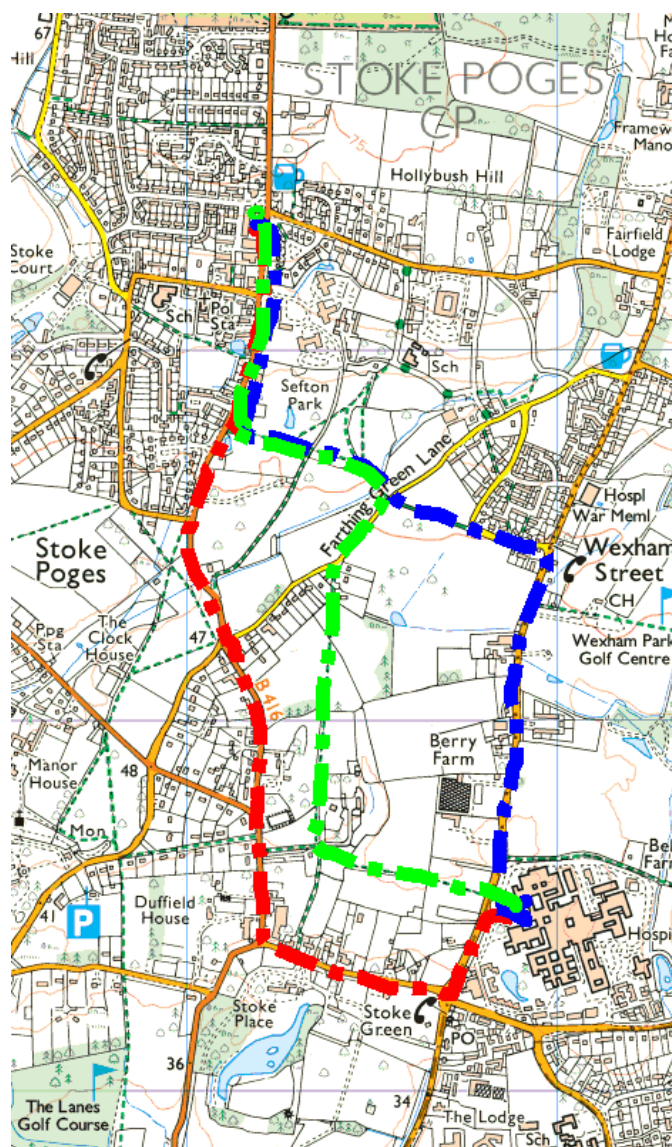
Destination: Country park, lake, adult and children’s activities, cafes .

Route Length: Blue Route 3.3 km, Green Route 4.2 km

Existing: There are two possible routes to Black Park. The Blue Route on the map is the most direct and all of it is on tarmac pavement. However, there is a dangerous gap of approximately 300m length on Rowley Lane where there is no pedestrian pavement and the road is particularly dangerous with unsighted curves and fast traffic. This route cannot be recommended unless a pavement is built. The Green Route on the map crosses Sefton Park and Wexham Golf Courses and then crosses Galleons Wood. This is a beautiful journey but once again is only suitable for well-shod pedestrians at the moment. The exit of the PROW from Galleons Wood at the Black Park entrance is also dangerous; emerging on to the road at the intersection of two busy roads on a curve. This will need attention at the same time as the provision of the pavement further along Rowley Lane.

Aspiration: Build cycleway/footpath along Rowley Lane. Improve safety of exit of existing PROW at Black Park entrance. Upgrade existing footpaths to SafeRoute with appropriate access control.

Route 5: to Wexham Park Hospital



Destination: Major regional hospital with A&E department.

Route Length: Red Route 2.9 km Green Route 2.8 km Blue Route 2.8 km

Existing: The Red Route follows the main highways to the hospital along the B416, Stoke Green and Wexham Street. It has pedestrian pavement along the whole route but involves several crossings of very busy roads.

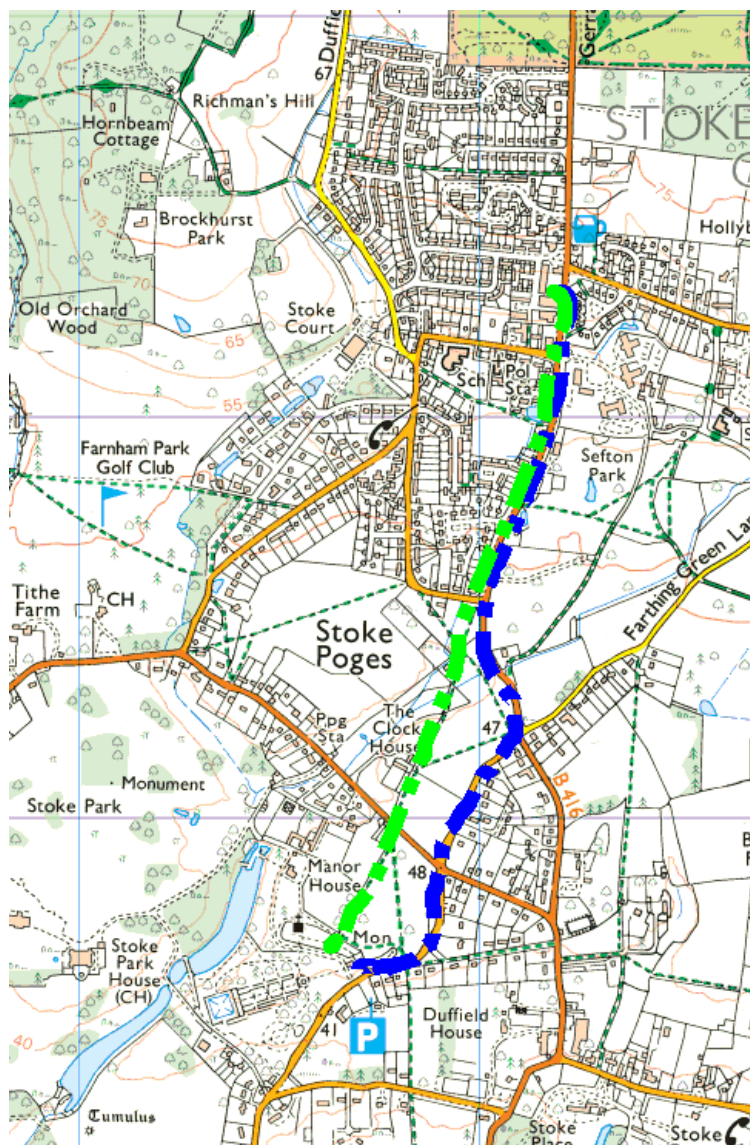
The Blue Route approaches the hospital along Wexham Street with pedestrian pavement on the highway sections, but also along a busy road.

The Green Route follows the B416 for a few hundred metres but is then entirely on countryside paths until the entrance to the hospital.

The Blue and Green Routes will require the upgrades to the sections across Sefton Park and Muddy Lane as described in the Wexham Street to Stoke Poges route, section 4.2.1.

Aspiration: Upgrade existing footpaths to SafeRoute with appropriate access control.

Route 6: Stoke Poges village green to Parish Church, Memorial Gardens, Grays Monument



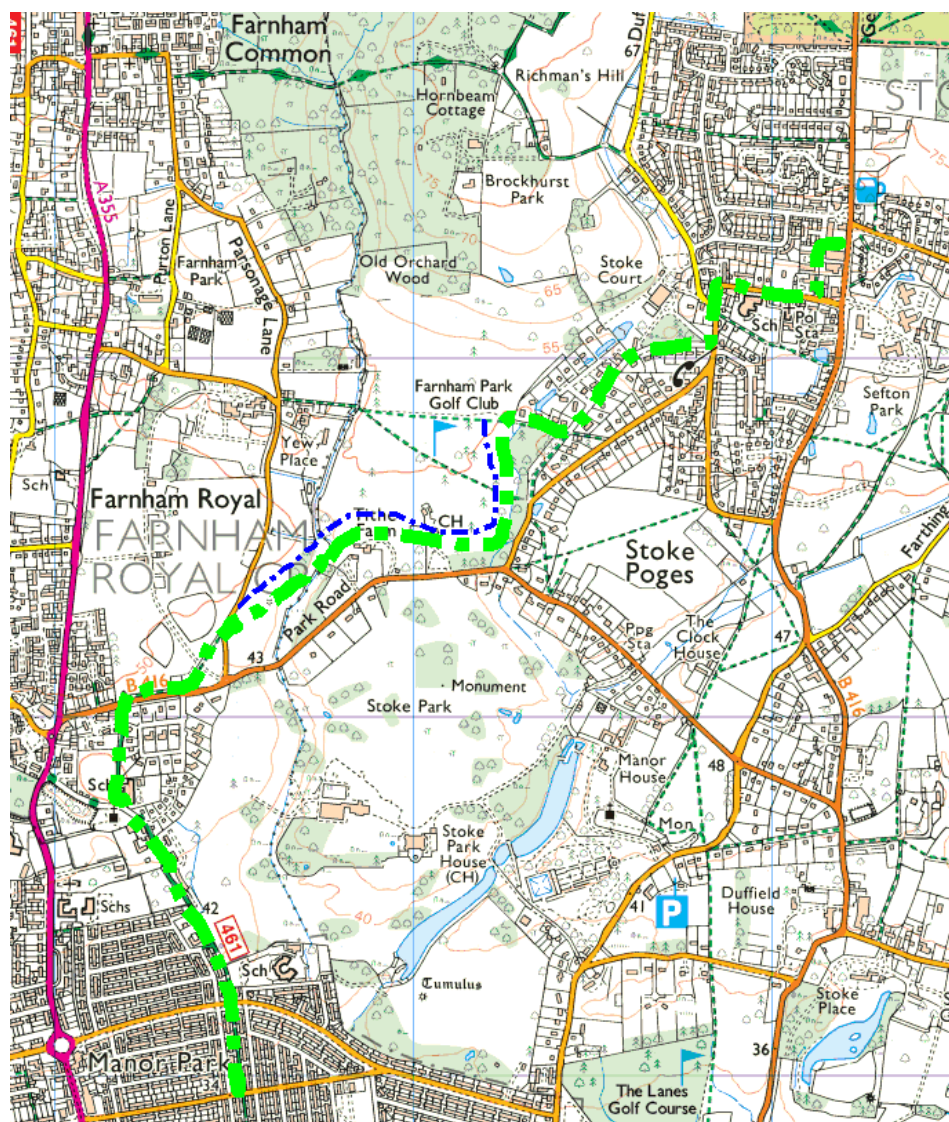
Destination: World famous church and churchyard where Gray wrote the elegy, beautiful gardens and monument to Gray. Stoke Poges Memorial Gardens.

Route Length: Blue Route 2.2 km Green Route 1.8 km

Existing: The Blue Route follows the B416 then Church Lane. There is a pedestrian pavement on the B416 and Church Lane to the south of Park Road. However, there is no pavement on Church Lane between Park Road and the B416 which makes the route particularly dangerous for anything other than a motor vehicle. The Green Route is a well-established footpath but with numerous gates and small bridges across streams.

Aspiration: Upgrade existing footpaths to SafeRoute with appropriate access control.

Route 7: to Farnham Royal village and Farnham Road area



Destination: Shopping, services, community centres, sports grounds.

Route Length: Green Route 3.5km to Farnham Pump, then onwards to Farnham Road shopping area.

Existing: Public footpaths with kissing gates and stiles. One section without designated footpath but on council-owned golf course. This is marked in Blue on the map. A new footpath along the edge of the golf course is proposed to enable the non-motorist to travel from the end of Stoke Court Drive the existing footpath at the southern end of Parsonage Lane. This would provide an almost traffic-free route to this important neighbour which at present is impossibly dangerous unless in a motor vehicle.

Aspiration: Build SafeRoute around periphery of part of the golf course. Upgrade existing footpaths to cycleway with appropriate access control.

Appendix 2 SafeRoute Surfacing

Link: <https://www.pathsforall.org.uk/mediaLibrary/other/english/surfacing-guide-for-path-projects-94731.pdf>



Semi-bound surfaces

General description of semi-bound (self-binding) materials

As the term suggests, these materials will bind together far better than unbound surfaces (e.g. whin or granite dust). When combined with the thicker application depths, they will form a more durable path surface which is better suited to heavily trafficked routes, steeper slopes, woodland locations and general all-weather use. Semi-bound surfaces are best spread and levelled using an asphalt mini paving machine or purpose built drag box, reducing any risk of material separation when spreading by hand i.e. the coarser and finer materials can be separated/raked out ('overworked'), with the larger material being lifted to the top. For best results, lay materials whilst damp and compact to refusal using a heavy vibrating roller (e.g. 120 type roller). Other, more decorative, semi-bound surfacing options are available and will often be used on formal and/or high-quality landscaping projects. These include self-binding materials like [Cedec® Footpath Gravels](#) and [Firechip™](#) however regional variants will exist and should be investigated as transportation costs to sites outwith Central Scotland may make the use of these specific materials prohibitive.

Semi-bound surfaces

Images



Cedec® (red/silver/gold)

Description

A graded granite and quartzite aggregate (6-0mm grit size) which binds together, in the presence of moisture, to form a firm, hard wearing but porous surface. Sold as a footpath gravel but often used on larger areas where a more decorative finish is desired, including driveways and high quality/impact landscaping projects.

Appendix 3
The SafeRoute Gate

To be continued if and when any further actions are deemed appropriate.

Appendix 4 SafeRoute Lighting

Link: <https://wydels.co.uk/products/35w-solar-led-street-light-lighting-column-packages>

WYDELS
ELECTRICAL WHOLESALERS

Enter keywords here...

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DETAILS

SSL35 LED Solar Street Light Black 3,600 Lumens Day Light IP65

SHIPPING & RETURNS

REVIEWS

Introduction:

The new **SSL35** redefines LED street lighting incorporating cutting edge performance, build quality and design in all in a solar luminaire. Offering efficiency of 112 lm/W, a rated life of 3 years and durable construction, the SSL35 enables you to minimise your whole life costs, providing the ability to just install and let the fitting do its job.

Operations are very simple, the luminaire detects movement and incident sunlight, when the twilight sensor detects dusk it will put the luminaire into operation. Two modes can be selected: **Constant light mode**, where the lighting is constantly at 50% of its maximum performance. Or **Motion Sensor Mode**, where the luminaire turns on at 100% of its performance when it detects movement, if after 20 seconds the luminaire does not detect any presence, it will reduce its brightness to 20%, thus saving energy at night. When the twilight sensor detects dawn, it will completely turn off the luminaire and charge the internal battery.

This Solar luminaire incorporates a large-capacity battery, as it would allow the user to **operate the luminaire for 3 to 5 days at night for an average of 10-12 hours**, assuming that **adverse weather conditions** do not allow the battery to be charged by incident sunlight for several days (the autonomy of the battery will vary according to weather conditions, battery charging and discharging cycles, humidity, working ambient temperatures, etc.).

Features & Benefits:

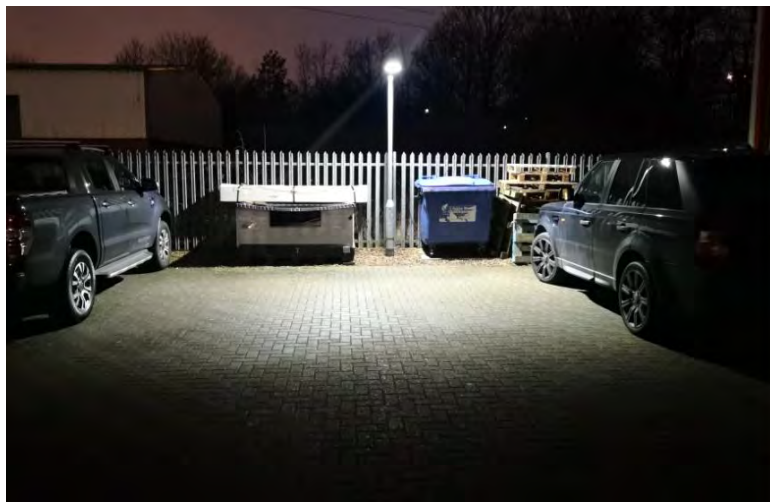
- An innovative and sustainable way of lighting up your outdoors
- Function up to 3 to 5 days with 10 to 12 hours light every night
- Inbuilt sensors allows the fitting to light up upon detection of movement
- ZERO Electricity Costs
- Automatic On/Off Switching
- Solar Powered
- PIR Detective
- Wire Free

Applications:

- Car Parks & Yards
- Outdoor Residential Areas
- Walkways & Paths
- Suburban Areas

35W Solar LED Street Light Specification:

Lumens	3,600lm
Power Consumption	35W
Lumens per Watt	105lm/W
Hour Rating	30,000 Hours
Warranty	3 Years
Colour Temperature	6000K - Day Light
Voltage	11.1V Lithium Battery - 1000mAh
Charging Time	6-7 hrs Sunlight Charging
Working Time	3 to 5 days
Detection Range	3-8 mtrs, 120°
Instant on	Less than one second
Product Finish	Black
Weight	5Kg
Material	ABS & PC
Length	622mm
Width	290mm
Height	74mm
IP Rating	IP65 Rated
Lowest Operating Temperature	-20°c
Maximum Operating Temperature	45°c



Appendix 5

Buckinghamshire County Council Climate Change and Air Quality Strategy



Press Release from Buckinghamshire Council

4 MARCH 2022

Volunteers help plant Buckinghamshire Council's first new wood

Volunteer tree planting at Buckinghamshire Council's first brand-new wood, Billet Field Wood, took place on Thursday, 3 MARCH.

The new 1.72 hectares wood is sited next to Black Park Country Park, with its 500 hectares of beautiful mixed woodland and heathland.

More than 3,000 trees and shrubs have been planted in total at the new wood, of which 400 were planted on the day.

As well as the volunteers, members of staff from Buckinghamshire Council along with the Chairman, several Cabinet Members and Community Board members attended and participated in the event.

Speaking at the event, Peter STRACHAN, Cabinet Member for Climate Change and Environment, said :

"Planting new trees in large numbers across the county is a big part of our Climate Change and Air Quality Strategy to reach carbon net zero by 2050. We're also starting to make inroads into our 'Bucks Tree Mission' – which will see us plant more than half a million new trees, one for every resident, within the next 10 years.

"Planting our first new wood at Billet Field is a major milestone showing our pledges in action, and it was fantastic to see and be part of the tree planting.

"We hope to open Billet Field Wood to the public shortly. Once it is open, I would encourage people to drop by and see the impressive results of our staff and volunteers' hard work."

www.buckinghamshire.gov.uk

<https://twitter.com/BucksCouncil>

<https://www.youtube.com/c/BuckinghamshireCouncil>

<https://www.facebook.com/BucksCouncil/>

Buckinghamshire Council, The Gateway, Gatehouse Road, Buckinghamshire, Aylesbury, [HP 19 8 FF](http://www.buckinghamshire.gov.uk)