

THE FARNHAMS NEIGHBOURHOOD PLAN

2020 - 2042

Submission Plan

PUBLISHED BY

Farnham Royal Parish Council for Submission consultation
under the Neighbourhood Planning (General) Regulations
2012 (as amended).

JUNE 2024

GUIDE TO READING THIS PLAN

Of necessity, this Neighbourhood Plan is a detailed technical document. The purpose of this page is to explain the structure and help you find your way around the plan.

1. INTRODUCTION & BACKGROUND

This section explains the background to this Neighbourhood Plan and how you can take part in and respond to the consultation.

2. THE NEIGHBOURHOOD AREA

This section details many of the features of the designated area.

3. PLANNING POLICY CONTEXT

This rather technical section relates this Plan to the National Planning Policy Framework and the planning policies of the local planning authority.

4. COMMUNITY VIEWS ON PLANNING ISSUES

This section explains the community involvement that has taken place.

5. VISION, OBJECTIVES & LAND USE POLICIES

This key section firstly provides a statement on the Neighbourhood Plan Vision and Objectives. It then details Policies which are proposed to address the issues outlined in the Foreword and in Section 4. These Policies are listed in Table 1. There are Policy Maps at the back of the plan and additional information in the Appendices to which the policies cross reference.

6. IMPLEMENTATION

This section explains how the Plan will be implemented and future development guided and managed. It suggests projects which might be supported by the Community Infrastructure Levy which the Parish Council Forum will have some influence over. Finally, it deals with a number of issues which although relevant are outside the scope of a Neighbourhood Plan.

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FOREWORD

The Farnhams Neighbourhood Plan covers the villages of Farnham Common and Farnham Royal, it plays an essential role in allowing residents to shape the future of the two villages in which they live and work and can have significant influence on new development proposals.

Once approved by a community referendum, the Plan becomes a statutory part of the development plan for the Farnham Royal Parish and carries significant weight in how planning applications are decided.

In Section 5 we set out the vision and objectives for the plan. These objectives were built on the feedback received from residents around aspects of our villages which could change, be encouraged, or protected.

First and foremost, there is a clear desire to protect the semi-rural environment, our green spaces and the greenbelt. At the same time, the need to encourage development focus towards more affordable well-designed housing for keyworkers, younger residents and downsizers.

Change should help ensure we protect or improve the character of the villages by protecting our community and commercial services, enhancing the viability and vitality of our village centre.

The Neighbourhood Plan has taken many hours of hard work by the Neighbourhood Plan Steering Group made up of residents, support from specialist consultants O'Neill Homer and the Parish Council Clerk who has co-ordinated the administration of the plan under the advice of the Chairman of the Parish Council.

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1. INTRODUCTION & BACKGROUND

1.1. Farnham Royal Parish Council is preparing a Neighbourhood Plan for the area designated by the local planning authority, Buckinghamshire Council (BC) previously South Buckinghamshire District Council, on 19 July 2016. The area coincides with the parish boundary (see Plan A on page 4). The plan is being prepared in accordance with the Neighbourhood Planning (General) Regulations of 2012 (as amended).

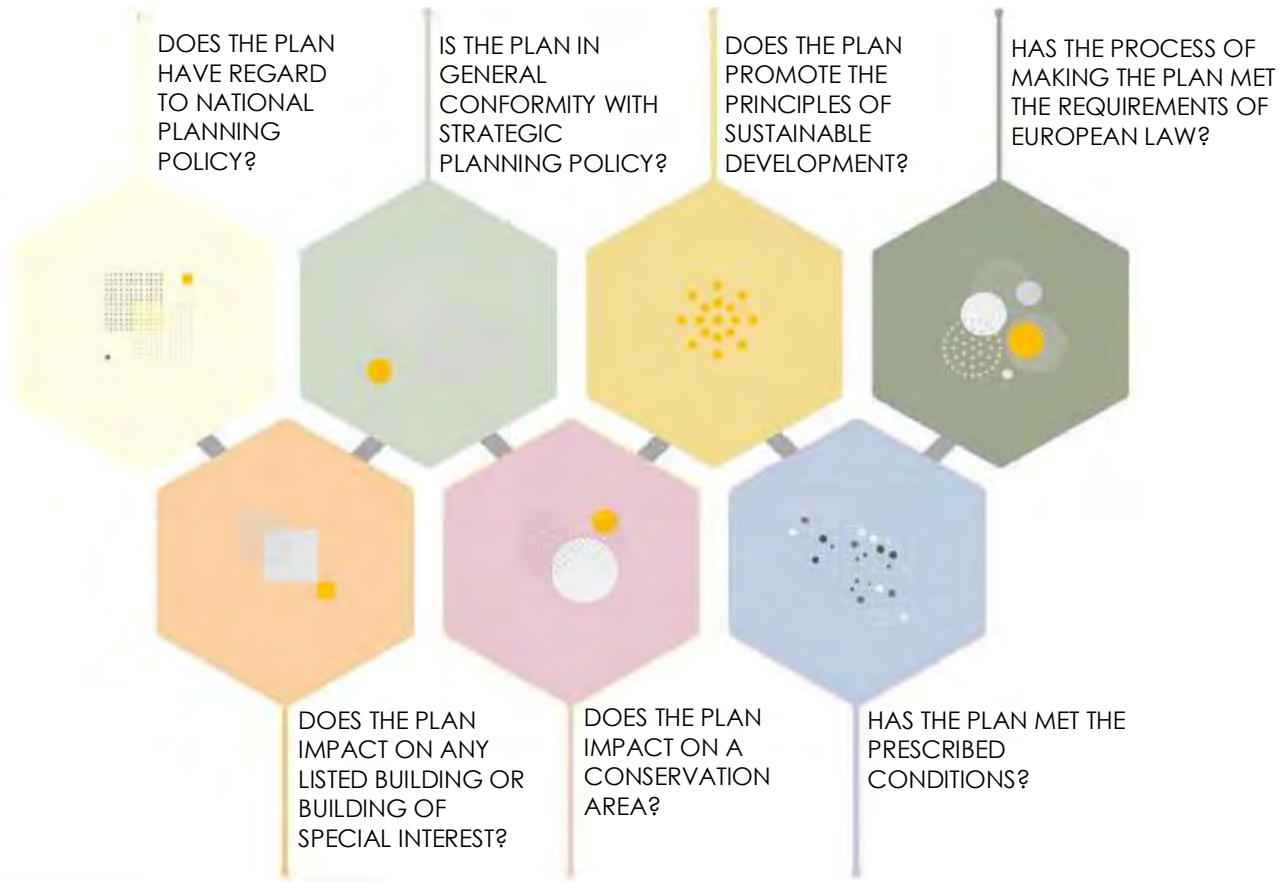
1.2. The purpose of the Neighbourhood Plan is to set out a series of planning policies that will be used to determine planning applications in the area in the period to March 2042. The Plan will form part of the development plan for the Parish, alongside the policies of the adopted South Bucks Local Plan 1999 and the adopted South Bucks Core Strategy 2011. The Local Plan and Core Strategy policies will eventually be replaced by the first Bucks Local Plan, which will also run to 2042.

1.3. Neighbourhood Plans provide local communities with the chance to manage the quality of development of their areas. Once approved at a referendum, the Plan becomes part of the Council's statutory development plan and will carry significant weight in how planning applications are decided in the neighbourhood area. Plans must therefore contain only land use planning policies that can be used for this purpose. This often means that there are important issues of interest to the local community that cannot be addressed in a Plan if they are not directly related to planning. Although there is scope for the local community to decide on its planning policies, Neighbourhood Plans must meet all of the relevant basic conditions (see Figure 2 overleaf).

1.4. In addition, the Parish Council will need to demonstrate to an independent examiner that it has successfully engaged with the local community and stakeholders in preparing the Plan. If the examiner is satisfied that it has, and considers the Plan meets the above conditions, then the Plan will go to a referendum of the local electorate. If a simple majority (over 50%) of the turnout votes in favour of the Plan, then it becomes adopted as formal planning policy for the neighbourhood area.

THE SUBMISSION PLAN

1.5. A draft ('Pre-Submission') Plan was published for consultation in January 2024 in line with the Regulations. The Parish Council has reviewed the comments received from the local community and other interested parties, including Buckinghamshire Council, and have made changes to this final version.



1 Neighbourhood Plan Basic Conditions

STRATEGIC ENVIRONMENTAL ASSESSMENT & THE HABITATS REGULATIONS

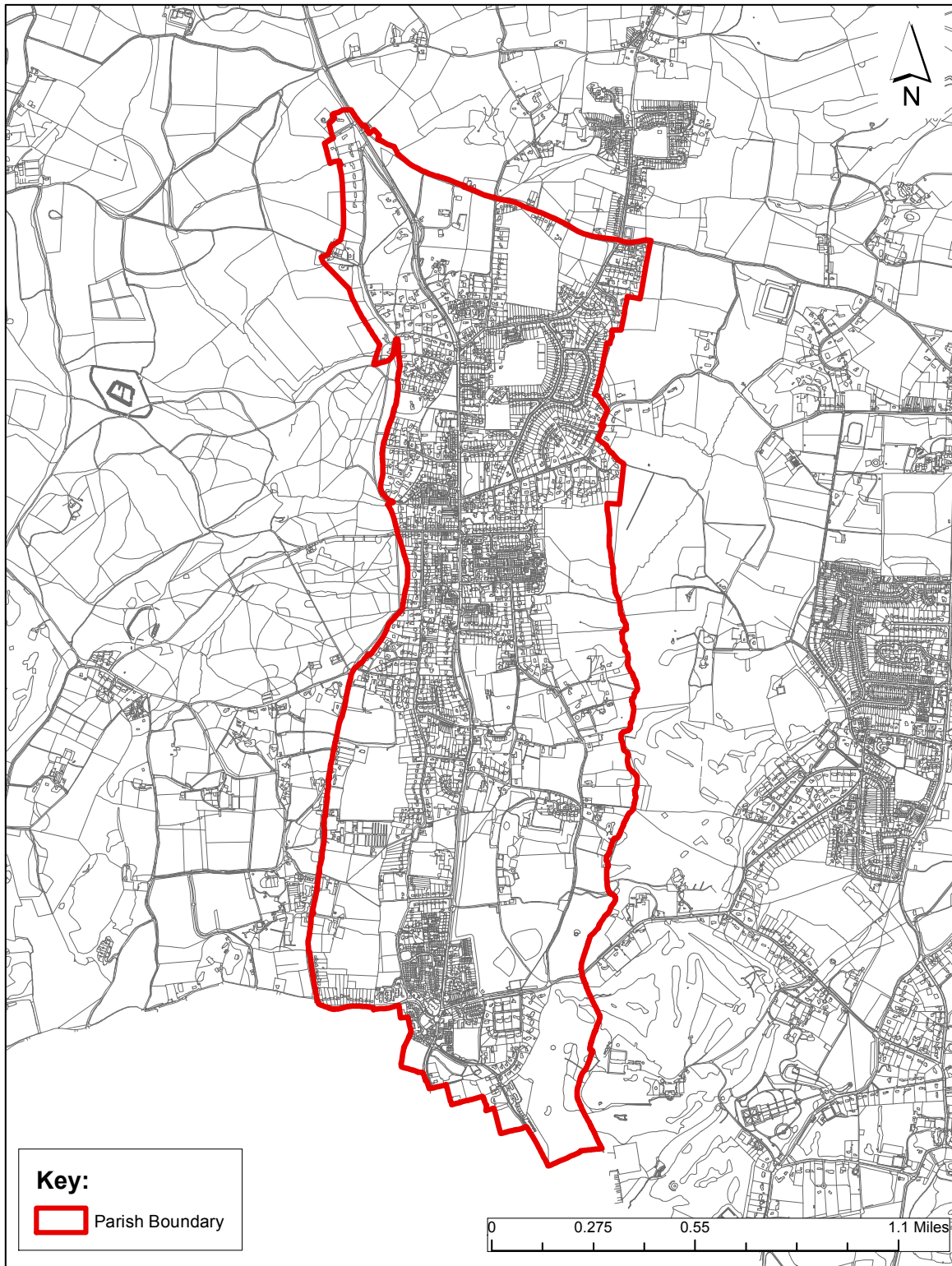
1.6. A Strategic Environmental Assessment (SEA) assesses the environmental implications of a proposed policy or plan. It allows for the cumulative effects of development and policies to be assessed and addresses any identified issues at an early stage. A screening request was submitted to BC for this purpose in accordance with the Environmental Assessment of Plans & Programmes Regulations 2004 (as amended). BC issued a screening opinion in January 2023 which has confirmed that an SEA is not required. The Basic Conditions Statement which will be submitted alongside the Submission Plan will summarise how the neighbourhood plan contributes to the achievement of sustainable development.

1.7. The request also seeks BC opinion on the requirement to prepare a Habitats Regulations Assessment given that the designated Neighbourhood Area includes, and is in close proximity to, the National Site Network (formerly Natura 2000 sites) as per the Conservation of Habitats and Species Regulations 2017 (as amended). The screening report in January 2023 confirmed that a Habitats Regulations Assessment of the neighbourhood plan will not be required.

THE NEXT STEPS

1.8. This Plan will be submitted to Buckinghamshire Council for a further consultation and to arrange for its examination by an independent examiner and subsequent referendum, if the examiner is satisfied that the draft plan meets the basic conditions.

Farnham Royal Parish



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Plan A: Designated Neighbourhood Area

2. THE NEIGHBOURHOOD AREA

2.1 Farnham Royal Parish extends from the border with Slough in the south to Parish Lane in the north, which acts as a border with the parish of Hedgerley. To the west lies Burnham and to the east, Stoke Poges. The Parish follows a linear north-south course, approximately 4km long by 1km wide, with the Burnham Beeches Special Area of Conservation (SAC), and Site of Special Scientific Interest (SSSI) greatly appreciated by residents and visitors alike, and Stoke Wood ancient woodland enclosing the Parish on each side. Whilst the majority of the Burnham Beeches is in the adjacent Parish, a small section lies within the designated neighbourhood area boundary. The two main settlements in the Parish are Farnham Royal and Farnham Common.

2.2 The statistics show that in the 2011 Census the NA had a total of 5,972 residents, formed into 2,322 households and occupying 2,418 dwellings. Statistics from the 2021 Census show the Parish had a population of 6,351 residents, indicating a growth of approximately 6% since the 2011 Census. The largest age group is 45-64, representing 29.3% of the population (2020 ONS estimates). The fastest growing age group is 85+, which increased by 29.4% between 2011 – 2020 (2020 ONS estimates). During the same time period, all age groups below 44 decreased in size by up to 8%.



2 The Broadway, Farnham Common

2.3 Housing tenure in the Parish is skewed significantly towards ownership (74.5%) and a dominance of detached houses (47.9%), compared to the rest of England (15.9%). Of all

the houses in the Neighbourhood Area, 40% contain 4 or more bedrooms. In 2021, the average house price in the Parish was £540,000 (Land Registry PPD).

2.4 The area features a wide range of uses including shops and small supermarkets, offices, restaurants and pubs and a number of large garden centres nearby, although there are notably more of these in the village of Farnham Common than there are in Farnham Royal. The two main areas of sports and recreational activity are Farnham Common Sports Club and Farnham Park Playing Fields which host a number of facilities for a variety of sports. The Parish also features a number of Churches and well regarded schools.



3 Burnham Beeches

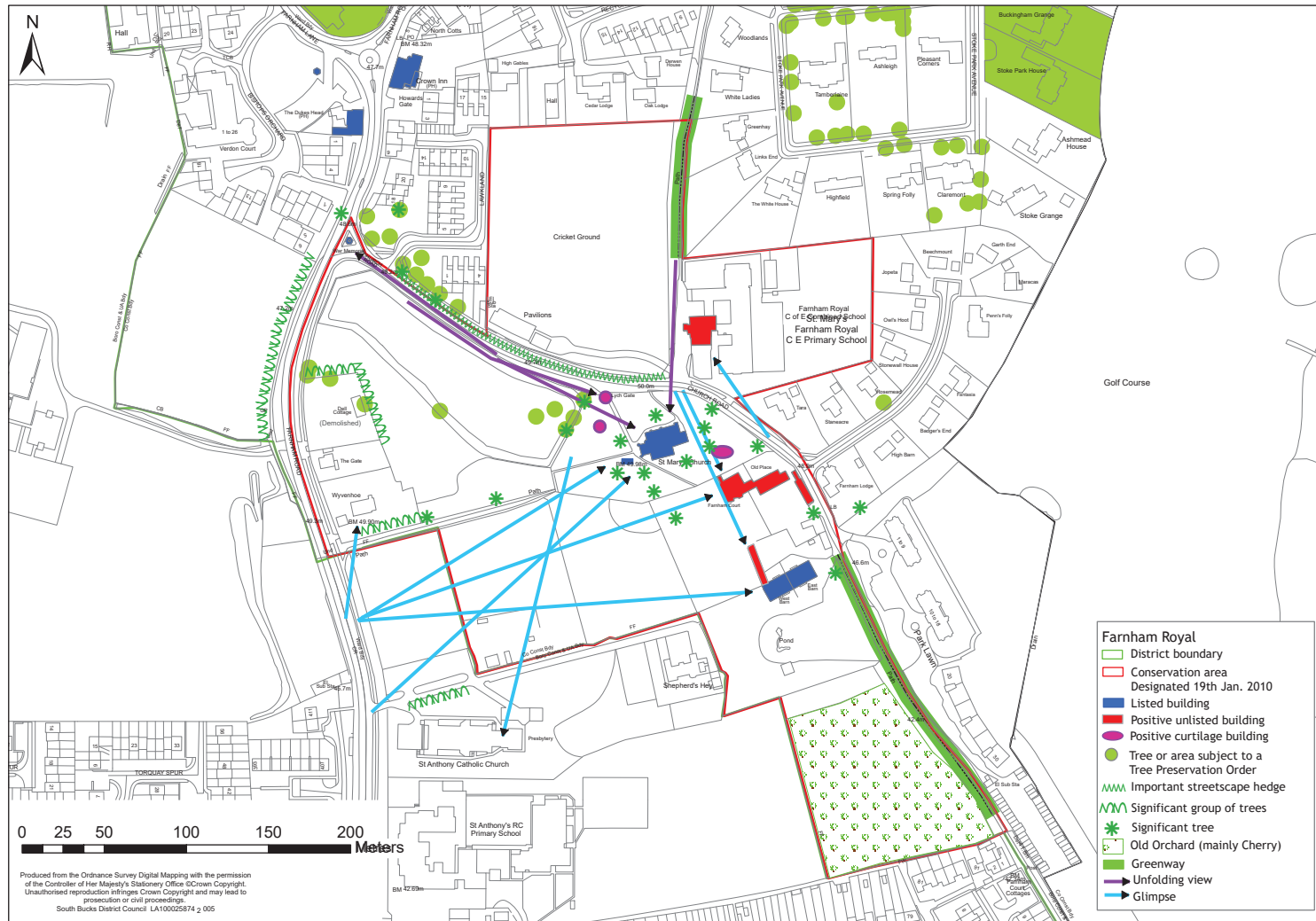
2.5 Before the 1830s, Farnham Royal occupied a relatively large area although contained few houses within it. The rapid expansion of Slough, fuelled by the introduction of the railway has influenced the current boundary seen today at the south of the Parish. The development and growth of Farnham Common occurred a number of years later, notably with the construction of St John's Church in 1907. Since then there has been a general trend of a shift in development in the Parish towards the northern settlement of Farnham Common with new houses and services being built, such as a post office and shops. This has resulted in the current circumstances of Farnham Royal being situated at the southern extremity of the Parish. Over time, Farnham Royal has lost a number of its facilities and services such as a baker's shop and pubs. To this day, the majority of housing and facilities are located towards the northern end of the Parish.

2.6 The parish lies entirely within the Metropolitan Green Belt with the built-up areas of the villages of Farnham Royal and Farnham Common inset. There is also a 500m presumption against development zone and a 5.7km zone of influence operational around the Burnham Beeches due to recreational pressures on the special habitat it supports (see Plan B below). For the most part, therefore, the Parish remains protected from speculative housing development proposals in its Green Belt, but that has been seen to increase the pressure for infill and plot redevelopment within the village settlement's inset boundaries.



Plan B Designated neighbourhood area main spatial constraints

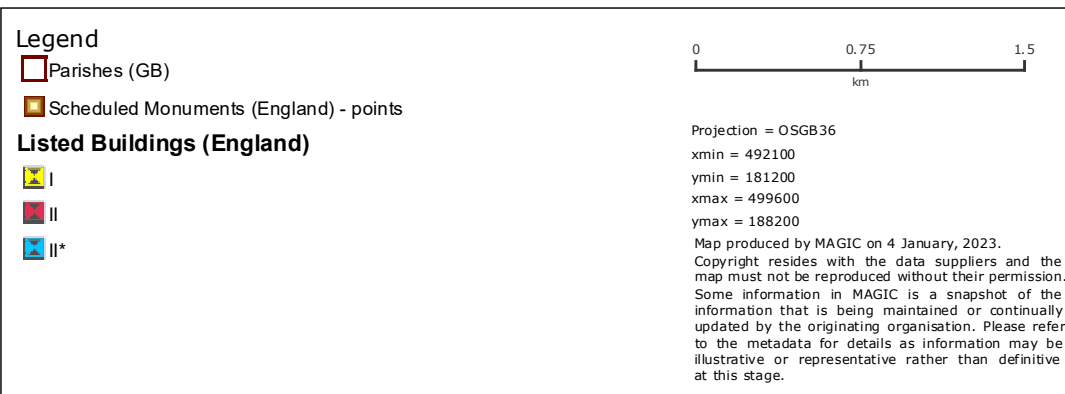
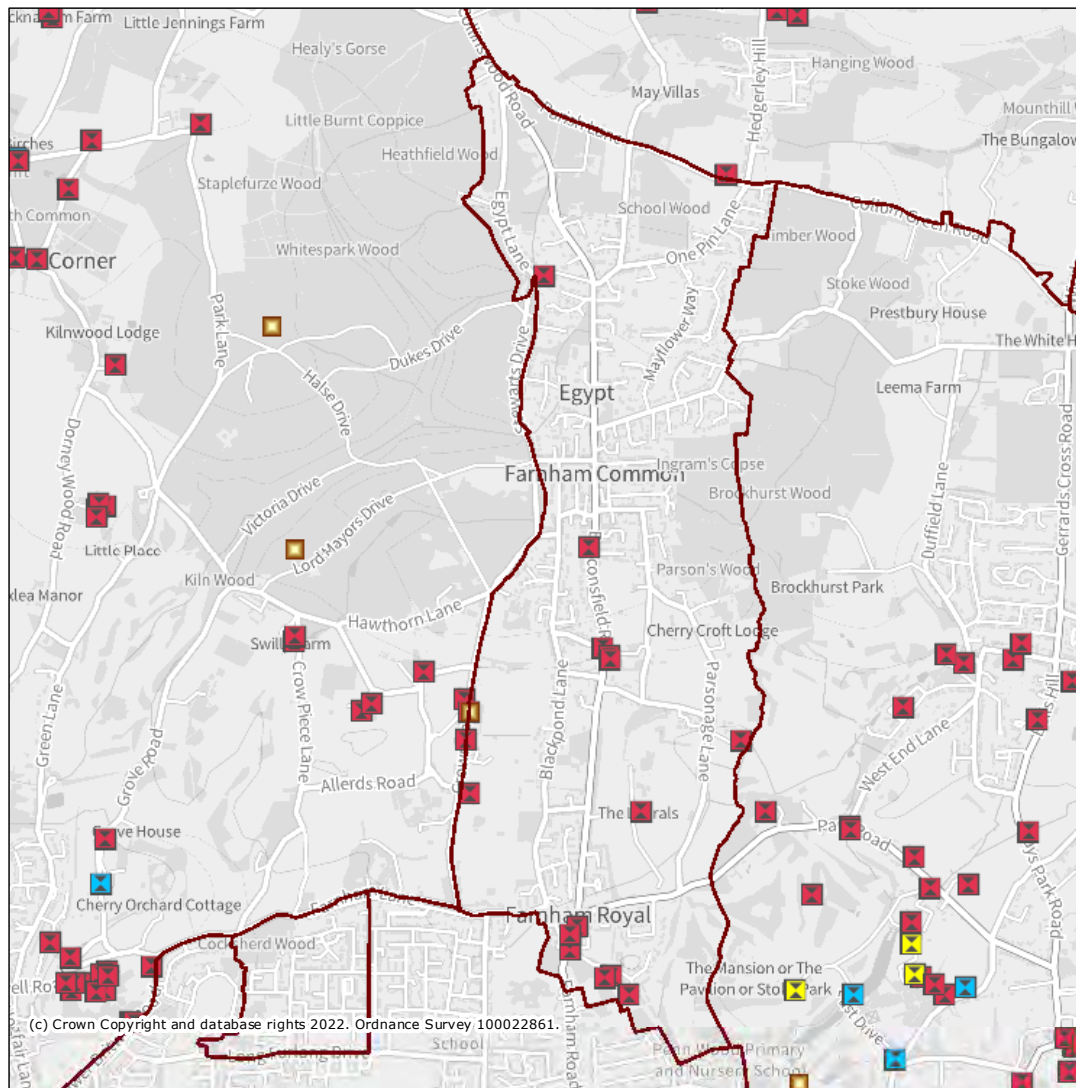
2.7 The Parish contains the Farnham Royal Conservation Area (see Plan C below), focused around Church Road and was designated in January 2010. It contains several surviving important historic buildings, structures and spaces.



Plan C: Extract from the Farnham Royal Conservation Area Character Appraisal January 2010

2.8 There are 16 listed buildings in the Parish, all Grade II listed, as well as the Scheduled Monument of East Burnham animal pound (see Plan D below). These include the Church of St Mary, the Pump Shelter and the War Memorial.

MAGiC historic Statutory Designations



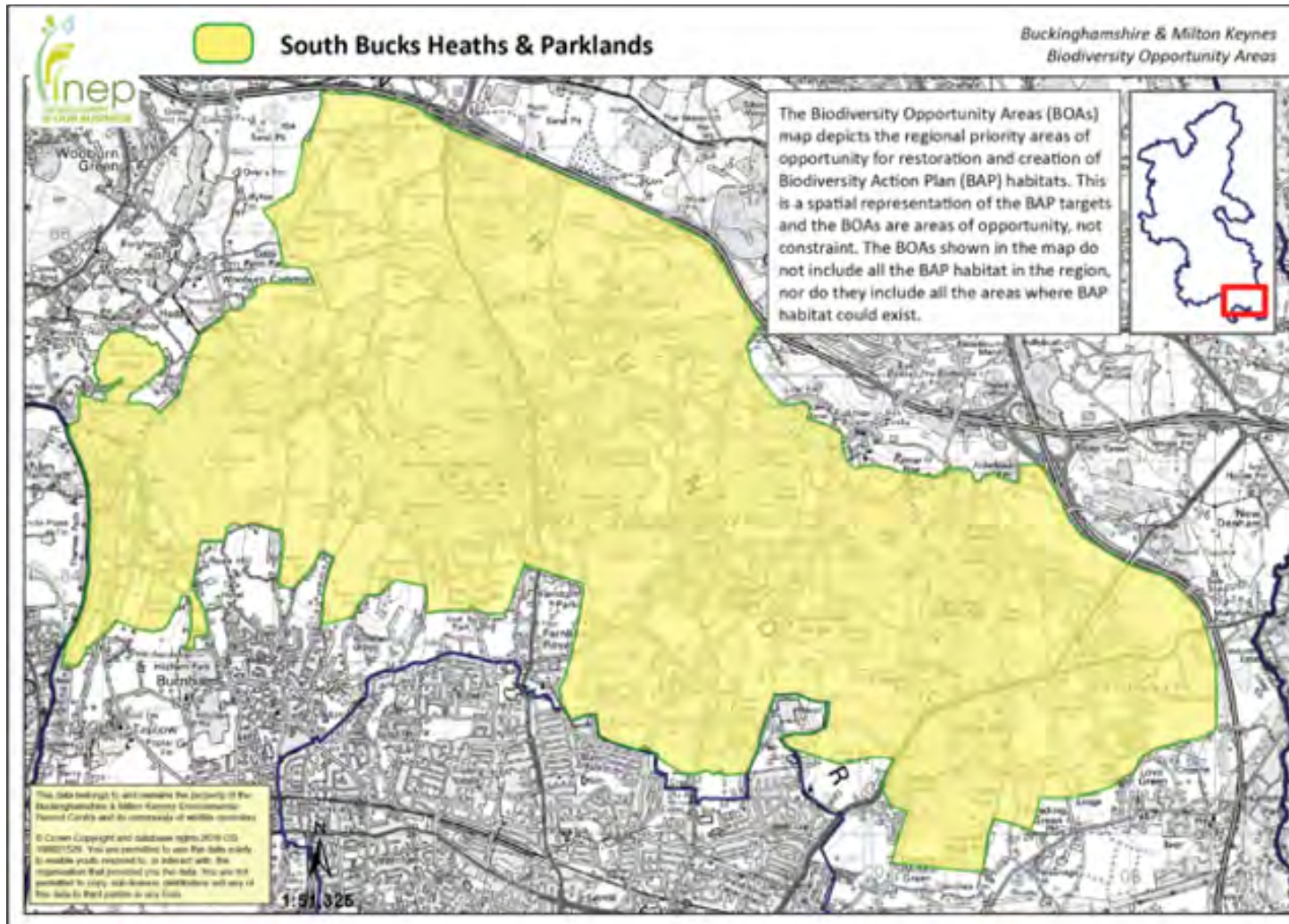
Plan D: Historic statutory designations in the designated neighbourhood area

2.9 There is no fluvial flood risk recorded in the designated neighbourhood area. However, the risk from surface water is extensive, particularly around the built-up area of Farnham Common (see Plan E below). There are also a number of underground streams.



Plan E: extent of surface water flood risk in the designated area

2.10 Within the Parish Boundary there are a number of priority habitats. These include lowland heathland, ancient woodland, deciduous woodland, traditional orchard, wood pasture and parkland BAP, and areas where no main habitat but additional habitat exists. Areas of ancient woodland can provide key green infrastructure and habitat value. Parts of the designated neighbourhood area are included within the South Bucks Heaths and Parklands Biodiversity Opportunity Area (BOA).



Plan F: South Bucks Heaths and Parklands BOA

3. PLANNING POLICY CONTEXT

3.1 The Parish lies within the county of Buckinghamshire. Buckinghamshire Council (BC) is the local planning authority for the area.

NATIONAL PLANNING POLICY

3.2 The National Planning Policy Framework (NPPF) published by the Government is an important guide in the preparation of local plans and neighbourhood plans. The following paragraphs of the latest version of the NPPF is considered especially relevant:

- Neighbourhood planning (§28 - §30)
- Sustainable development in rural areas (§83)
- Promoting healthy and safe communities (§96 - §97)
- Open space and recreation (§102 - §103)
- Local green spaces (§105 – §107)
- High quality design (§135)
- Protecting Green Belt land (§142)
- Conserving and enhancing the natural environment (§180 - §182)
- Conserving and enhancing the historic environment (§195 - §209)

3.3 The Government has also set out a requirement for the provision of First Homes in a Written Ministerial statement on 24 May 2021. These requirements were subsequently incorporated into National Planning Practice Guidance. As the Parish outside of the built-up area is 'washed over' by Green Belt, First Homes Exception Sites are unable to come forward in the Parish. However, this does not preclude First Homes forming part of the affordable housing contributions through Rural Exception Sites allowed for by the NPPF. It is anticipated that the forthcoming Local Plan will deal with this matter appropriately and BC has published an Interim Position Statement regarding First Homes in the meantime¹.

3.4 The Levelling Up and Regeneration Act (LURA) received Royal Assent on 26 October 2023. The Act demonstrates a continued support of Neighbourhood Planning, including the introduction of new 'Neighbourhood Priorities Statements' (NPS).

STRATEGIC PLANNING POLICY

3.5 The Neighbourhood Plan must be in general conformity with the strategic policies of the development plan, which primarily comprises the saved policies of the *South Bucks District Local Plan* adopted in March 1999 and the *South Bucks Core Strategy* adopted February 2011. All of these policies predate the NPPF, but most are considered to be consistent with it and so until they are replaced, either by this Neighbourhood Plan or by the *new Bucks Local Plan* (BLP), they will continue to operate in determining planning applications.

¹ <https://www.buckinghamshire.gov.uk/planning-and-building-control/planning-policy/affordable-housing/first-homes-interim-position-statement/>

3.6 The *Core Strategy* defines Farnham Common as a 'secondary settlement' and Farnham Royal and a 'tertiary settlement'. The Parish currently lies entirely within the Green Belt, but both settlements are 'inset' from the Green Belt. There are also a number of development management policies that cover a wide range of matters affecting the Parish, including its Conservation Area, Listed Buildings, priority habitats, SSSIs, and Ancient Woodland (see Plans G and H below). This includes the provisions of Core Policy 6 on the requirements of new development. To that end water utility companies have confirmed that for development in Farnham Royal Parish, developers are encouraged to contact the water/waste water company as early as possible to discuss their development proposals and intended delivery programme to assist with identifying any potential water and wastewater network reinforcement requirements. As the area is defined as water stressed, it should also be noted that BC use planning conditions with regards to water efficiency and consumption for new residential development to secure a maximum water use of 105 litres per head per day using the 'Fittings Approach' in Table 2.2 of Part G of the Building Regulations.

3.7 A submitted Chiltern & South Bucks Local Plan was withdrawn from examination in 2021 and will not be resubmitted. It contained significant changes to the policy context for the designated neighbourhood area. It would have replaced the saved Local Plan and Core Strategy Policies; however, its withdrawal means that its evidence and reasoning are not relevant in informing the Neighbourhood Plan.

3.8 BC has begun the process of bringing forward its first Local Plan for the county of Buckinghamshire. It proposes to adopt the new Plan in Spring 2025 and its gathering evidence to shape consultation on the plan later in 2023. It is therefore at too early a stage to inform the Neighbourhood Plan, however some updated evidence has been published.

3.9 The Buckinghamshire Minerals and Waste Local Plan 2016-2036 also forms part of the development and apply in the neighbourhood area. The majority of the Parish lies within a Minerals Safeguarding Area for sand and gravel (Policy 1) (see Plan I). Their normal effect is to sterilise land from development prior to extraction unless it is clear that the development site will not prejudice the economic extraction of the mineral.

3.10 BC has also adopted a number of Supplementary Planning Documents (SPDs) which are material considerations when planning applications are determined. The most relevant to the designated neighbourhood area include:

- South Bucks Affordable Housing SPD adopted July 2013
- Burnham Beeches SAC Strategic Access Management and Monitoring Strategy SPD adopted November 2020
- Biodiversity Net Gain SPD adopted July 2022

3.11 The Burnham Beeches SAC SPD introduces zones of influence around the Burnham Beeches SAC as part of its Mitigation Strategy. The Mitigation Strategy seeks to address the requirement to avoid or mitigate adverse impacts on the integrity of Burnham Beeches SAC

mainly due to recreational pressures. A 500m presumption against development zone and a 5.6km zone of influence (see Plan J) is operational. There is a presumption against development or increase of dwellings within the zone of 500m of the linear boundary of the SAC and financial contributions are sought from all net new residential development within the 500 metres – 5.6km zone of influence.

Key To Proposals Map

Boundary of South Bucks District

Saved South Bucks Local Plan Policies

Green Belt
GB1, GB2, GB4, GB7, GB9-GB11, GB13, R9, R10, T2

Green Belt Settlement
GB3, GB5, GB13

Conservation Area
C1

Local Geological Site
C15 (Formerly Regionally Important Geological Site)

Housing Allocation
H2

Housing Allocation
H2 - development completed as at 31st March 2010

Residential Area of Exceptional Character
H16

Local Shopping Centre
S2

Pinewood Studios
E2

West Drayton to Poyle Railway Line
TR12

River Thames Setting
L4

Core Strategy Policies

Opportunity Site (MDS Boundary)
CP14, CP15, CP16

Area of Outstanding Natural Beauty
CP9

National Nature Reserve
Burnham Beeches SAC
CP9

Local Wildlife Site
CP9

Biodiversity Opportunity Area
CP9

Ancient Woodland
CP9

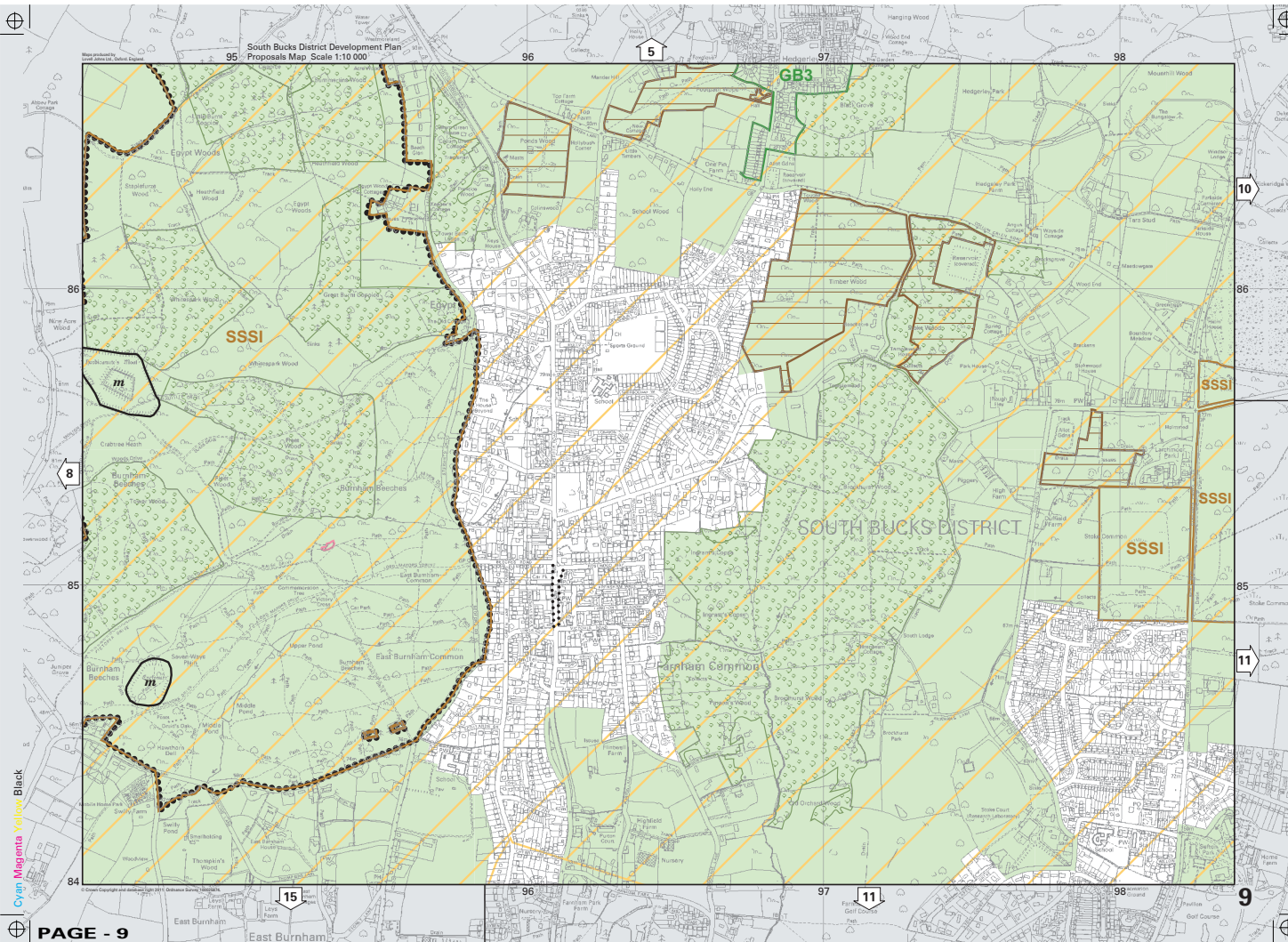
Scheduled Ancient Monument
CP9

Site of Special Scientific Interest
CP9

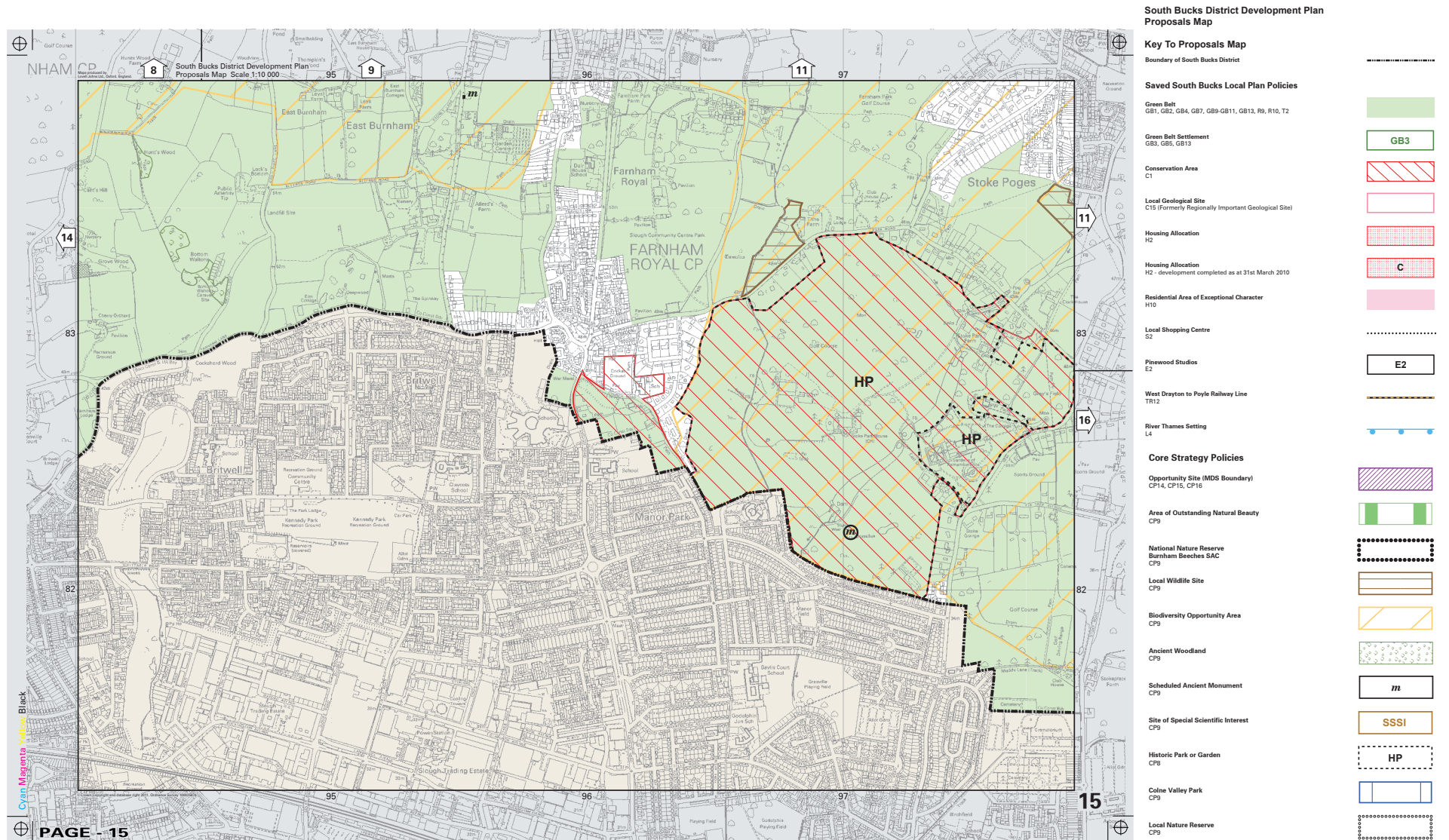
Historic Park or Garden
CP8

Colne Valley Park
CP9

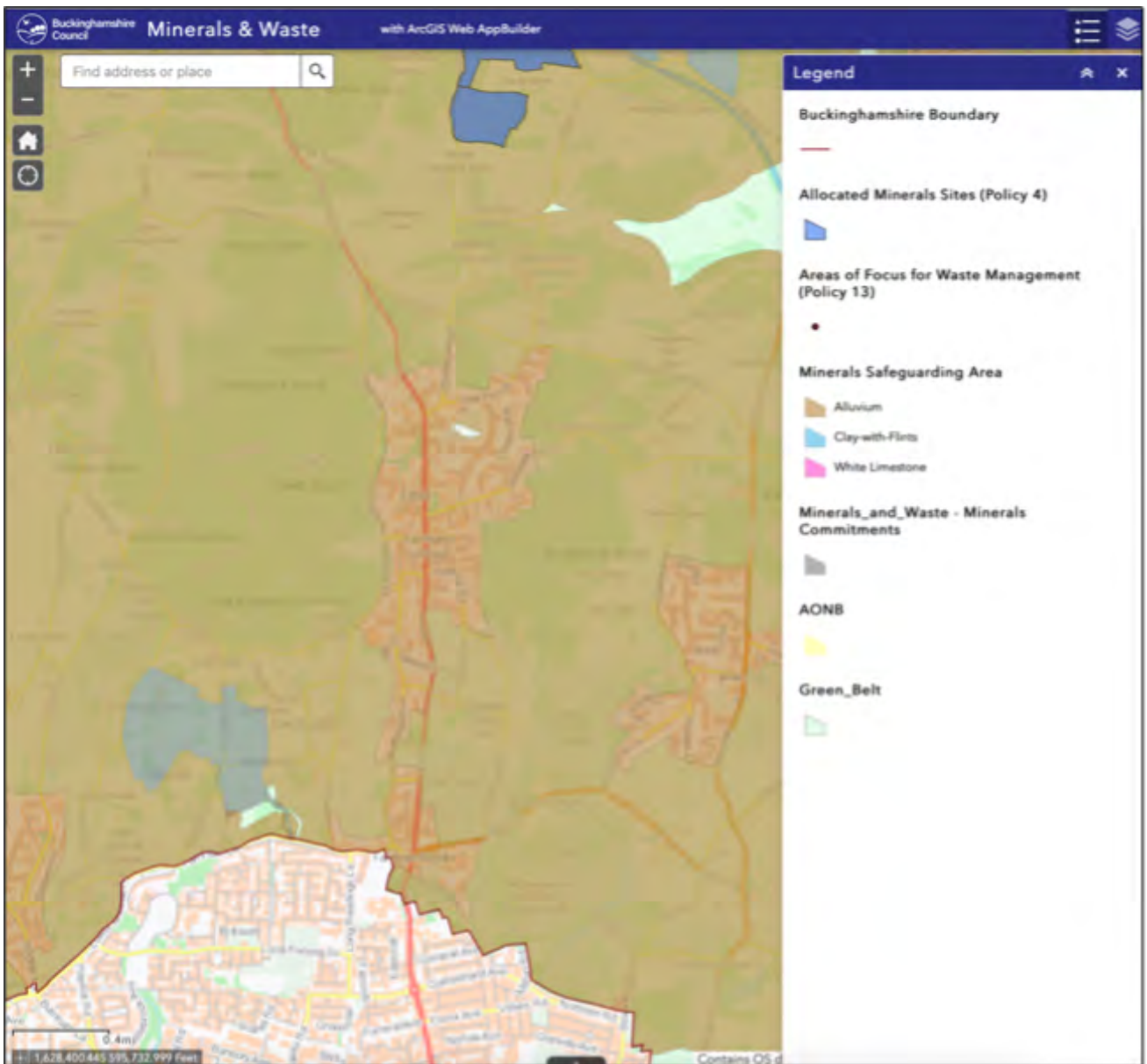
Local Nature Reserve
CP9



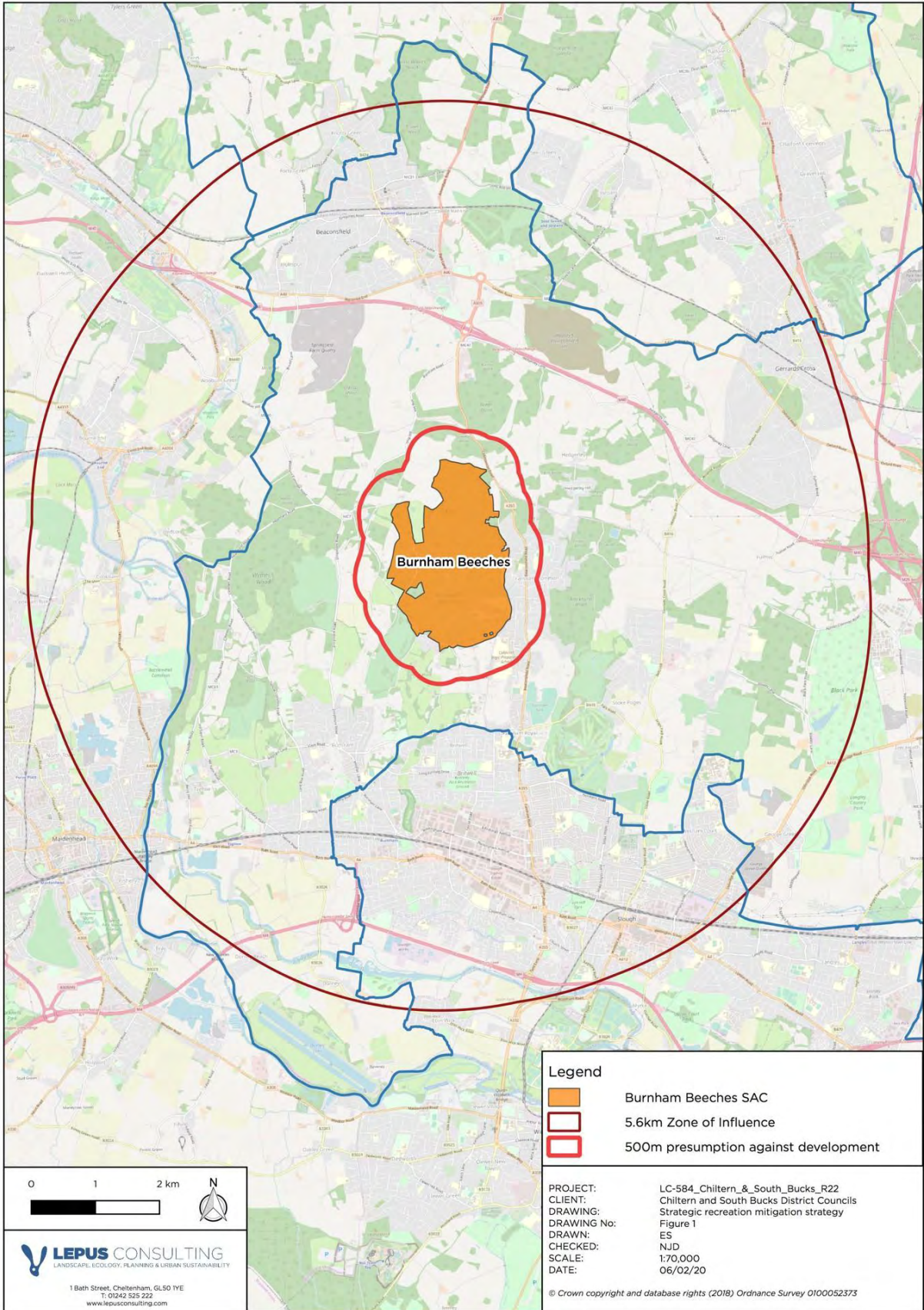
Plan G: Adopted South Buckinghamshire Policies Map Extract Farnham Common (published when Burnham Beeches SAC and SSSI was classified as an NNR)



Plan H: Adopted South Buckinghamshire Policies Map Extract Farnham Royal (published when Burnham Beeches SAC and SSSI was classified as an NNR)



Plan I: Extract of Minerals and Waste Local Plan Policies Map



Plan J: Extract from Burnham Beeches SAC SPD - Zones of Influence

NEIGHBOURHOOD PLANNING POLICY

3.12 The Parishes of Stoke Poges to the east, Burnham to the west, and Hedgerley to the north are currently preparing neighbourhood plans, but none have reached any formal stages. There are green infrastructure functionality and connectivity matters which will work across parish boundaries.

THE LOCAL PLAN FOR SLOUGH

3.13 The Proposed Spatial Strategy for Slough consultation ended in January 2021. The strategy proposes that nearly all of the Borough's growth will take place in the centre of Slough, however it notes that there may need to be some release of Green Belt sites on the edge of Slough to meet housing needs. The Council published its 'Proposed Release of Green Belt Land for Family Housing' consultation document in November 2021. It identified that St Anthony's Field, Farnham Road that adjoins the Parish boundary could accommodate 13-18 new homes, but notes that the site is ultimately unsuitable given the significant visual impact it would have on the small gap between Slough and Farnham Royal, including the adjoining Conservation Area.

3.14 The document also notes that the ideas for the northern expansion of Slough, outside the parish boundary but which would have an impact on the designated neighbourhood area, remain an option. However, the strategy recognises that it is one option of many that are currently being assessed and its conclusions will be published in a Draft Local Plan. Its publication timetable is yet to be agreed.

3.15 Slough Borough Council will progress their plan under the LURA. The commitment to meet as much of its housing and employment need within the Borough remains.

4. COMMUNITY VIEWS ON PLANNING ISSUES

4.1 In discussion with the community the clear priority of residents was the need to protect the greenbelt, access to the countryside and green spaces which contribute significantly to the relative tranquillity and rural character of the two villages.

4.2 The following views were also expressed:

- Protecting and wherever possible enhancing the high street and its local businesses and shops by allowing continued appropriate development was considered vital to ensure the villages continue to thrive.
- The need for affordable key worker housing was also identified as something that should be encouraged, not least to ensure local schools can attract and retain vital teaching staff.
- Better control over retrospective planning, the overuse of infilling and the building of properties which are out of character with the existing village stock and design was also repeatedly highlighted.
- Residents also felt that HMOs should not be allowed in residential areas of the villages.
- More community activities and improving outdated community facilities such as the village hall, play areas, the Dell, school pitches and the playing field facilities to encourage wellbeing in the community.
- Sustainable travel options, charging points, bike rack, green route from south to north.
- Zebra/pelican crossing on A355 to enable safe access to FR sports ground.
- Zebra/pelican crossing on Templewood Lane to allow safer access to the junior school.
- Reinstating the Beaconsfield bus route.
- Protect and retain all of the current green belt.
- Resist expansion of Slough urban form northwards.

5. VISION, OBJECTIVES & LAND USE POLICIES

5.1 The main challenge faced in planning the future is ensuring the continued protection of the Green Belt. We know that protecting the Green Belt is the clear priority of the community, but we are also acutely aware that some of the community see a need for truly affordable new homes and improved (or new) community facilities. The plan recognises that under current circumstances it is not possible to fully realise both.

5.2 There are currently no opportunities for affordable housing to come forward in the built-up area boundaries of Farnham Common and Farnham Royal and we cannot follow the conventional routes of allocating land for specific purposes outside of our built-up areas due to the Green Belt designation. We also don't yet know what the new Bucks Council Local Plan will expect from villages such as ours in their county-wide strategy.

5.3 Additionally, through engaging with local businesses, as well as operators of community services and facilities, in preparing this Neighbourhood Plan it has been established that local schools are struggling to attract staff. Whilst local businesses have attracted staff, staff availability is hindered. This is all considered to be through a combination of an ageing demographic, a lack of suitable sustainable transport, and little to no smaller and more affordable homes being made available in the local area, worsened by current spatial restrictions on new development. The Farnham Royal Housing Needs Assessment, April 2022 confirms that there is a worsening and serious need for smaller and affordable housing in the neighbourhood area.

5.4 The Neighbourhood Plan also recognises that there is an outstanding balancing act to be undertaken in terms of the environmental constraints and the defined Village Centre. Currently, limited net new residential uses can come forward in the defined Village Centre as it lies entirely within the Burnham Beeches SAC 500m presumption against development for net new residential units. The Parish Council recognises the positive planning aspects of the exclusion zone but also recognises that residential uses can also contribute to maintaining and/or enhancing the Village Centre as it does now, and it is important to retain a critical mass of commercial, businesses and service uses in this location. The defined Village Centre plays an important local social and economic role, not only for residents of the neighbourhood area, but the loss of a functional and established village centre in this location will have wider impacts beyond the neighbourhood area.

5.5 It is also important to ensure that the special habitats at the Burnham Beeches SAC is appropriately safeguarded. Therefore, alongside efforts to adopt and deliver a green infrastructure strategy and projects, the Parish Council will monitor vacancies in the Village Centre. Should it become clear that the presumption is leading to increased vacant premises in the Village Centre, the Parish Council will seek to establish a means by which applicants seeking to bring forward mixed use schemes that maintain and/or enhance the vitality and viability of the defined Village Centre, which may include residential uses resulting in net new homes, can make their case to BC and Natural England. It is recognised that a solution to this matter will prove challenging given existing provisions.

THE FARNHAMS NEIGHBOURHOOD PLAN

VISION

“New homes have been delivered within the development constraints of Farnham Royal and Farnham Common in sympathy with our Green Belt. The mix of these new homes has started to address local need and their design respects the local character of the villages. Opportunities for improved biodiversity and green infrastructure connectivity has been realised and there has been an increased uptake in active travel. We have remained a busy and vibrant community with access to a wide range of services and facilities.”

OBJECTIVES

Design coding to manage the quality of infill and other schemes and prioritising the mix of any future housing schemes to deliver smaller homes

Defining a green infrastructure network important for wildlife and our local communities to protect them from loss, improve their condition and number/size

Securing investment in traffic management schemes to make active travel to the Farnham Common Village Centre and other services and facilities more pleasant

Protecting community and commercial services and facilities including retaining and enhancing the vitality and viability of Farnham Common Village Centre

INTRODUCTION TO THE LAND USE POLICIES

5.6 The following policies relate to the development and use of land in the designated Neighbourhood Area of Farnham Royal. They focus on specific planning matters that are of greatest interest to the local community.

5.7 There are many parts of the Parish that are not affected by these policies, and there are many other policy matters that have been left to the adopted South Buckinghamshire policies and forthcoming Buckinghamshire Local Plan to cover. This has avoided unnecessary repetition of policies between this Neighbourhood Plan and adopted planning policies, though they have a mutual, helpful inter-dependence.

5.8 Each policy is numbered and titled, and it is shown in bold italics. Where necessary, the area to which it will apply is shown on the Policies Map attached to the document. After each policy is some supporting text that explains the purpose of the policy, how it will be applied and, where helpful, how it relates to other development plan policies.

THE LAND USE POLICIES AND SUPPORTING TEXT

POLICY FAR1: RURAL RESILIENCE

- A. The Neighbourhood Plan proposes the establishment of a 'shared back woodland' linking the communities of Stoke Poges and Farnham Common, as shown on the Policies Map, comprising a variety of green and blue infrastructure assets, including informal recreation space, a footpath/cycle network and land of biodiversity value.**

- B. Development proposals that lie within or are adjacent to 'shared back woodland' and are outside the Burnham Beeches SAC 500m presumption against development will be required to align their public open space and connectivity requirements with its objectives, so that they contribute to its successful formation and maintenance. Proposals that will lead to the unnecessary loss of this 'shared back woodland' land or features that will prejudice its completion will not be supported.**

5.9 The policy establishes the principle of 'a shared back woodland' at Farnham Common as a green infrastructure project and identifies its location on the Policies Map, for that part which lies in the designated neighbourhood area. The Stoke Poges Neighbourhood Plan has also identified the land lying within its designated neighbourhood area. It requires all development proposals within its broad location to make provision for its delivery and management and it resists the loss of any 'shared back woodland' land or associated features that cannot be justified.

5.10 The planning of green infrastructure is an increasingly important element of national policy. The NPPF acknowledges this type of infrastructure can serve many simultaneous purposes, from providing a local informal recreational asset, to enhancing biodiversity, protecting visual amenity and adapting to climate change. Its two most important features, however, are in creating an improved pedestrian/cycle route using rural resurfacing techniques and accessibility features on the existing public rights of way which spans across Brockhurst Woods and Ingram Copse connecting the settlements of Stoke Poges and Farnham Common, and in providing a new amenity for existing residential areas. This may also lead to reduced recreational pressure at Burnham Beeches and positive economic effects for both Farnham Common and Stoke Poges village centres.

5.11 A longer-term vision for this space is that of focussing on protecting and improving the ancient woodland of Brockhurst Woods, including Ingram Copse, itself (see Plan K). Both Stoke Poges and Farnham Royal Parish Council have in the past sought to purchase the land with a view to securing its protection and enhancement, however to date efforts have remained unsuccessful. The longer-term strategy provides an opportunity to focus on Brockhurst Woods, including Ingram Copse, as a shared back woodland for Farnham Common and Stoke Poges communities bringing opportunities for new activities improving health, wellbeing and education facilities ranging from an informal meeting space for users of the public rights of way to more formal opportunities such as an educational space for local schools and groups.

5.12 The 'shared back woodland' will become a defining feature of the settlements in years to come. It is accepted that its completion may take many years even beyond the plan period and will rely upon future investment and the support of relevant landowners.



Plan K: Shared back woodland vision diagram



Plan L: Shared back woodland boundary

POLICY FAR2: GREEN AND BLUE INFRASTRUCTURE

- A. The Neighbourhood Plan designates the Farnhams Green Infrastructure Network, as shown on the Policies Map, for the purpose of promoting nature recovery and helping mitigate climate change. The Network comprises the establishment of a 'shared back woodland' linking the communities of Farnham Common and Stoke Poges, part of the Burnham Beeches SAC and SSSI, land with known biodiversity value, open amenity space, priority habitats, woodlands, over/underground streams, significant hedgerows and lines of trees.**

- B. Development proposals that lie within or adjoining the Network are required to have full regard to maintaining and improving the functionality of the network, including delivering a net gain to biodiversity safeguarding underground streams, in the design of their layouts, landscaping schemes and public open space provisions.**

- C. Proposals that will harm the functionality or connectivity of the Network, including the loss of ancient woodland, ancient and veteran trees, and ancient wood pasture which are irreplaceable habitats, and any harm to underground streams will not be supported.**

- D. Development proposals that will lead to an extension of the Network including the proper management of ancient woodland, ancient and veteran trees, and ancient wood pasture as irreplaceable habitats, and the proper maintenance of underground streams, and the provision of integrated swift and bat boxes will be supported, provided they are consistent with all other relevant policies of the development plan.**

- E. The Policies Map shows those parts of the designated Network that are known or likely to have biodiversity value either as habitat areas; as hedgerows or lines of trees; or as streams and rivers. For the purpose of calculating Biodiversity Net Gain requirements using DEFRA's latest metric, development proposals located within or adjoining that part of the Network should anticipate achieving at least a medium distinctiveness multiplier score. In the case of baseline high distinctiveness habitats, the development should be avoided in the first instance and the mitigation hierarchy to be followed**

- F. Any proposal that can demonstrate that off-site compensation to mitigate for biodiversity loss is necessary must follow a sequential approach to its delivery. The gain should be delivered within or adjoining the network where the land is suited in principle for delivering the necessary gain. If this is not practical, then gain should be delivered on land within an adjoining parish that is suited in principle**

for delivering the necessary gain. Only if it can be shown that this is not practical may the gain be delivered on other land.

5.13 The policy defines the presence of green and blue infrastructure assets in the Parish which have multiple roles including carbon sinking, flood alleviation, climate change mitigation and biodiversity net gain. By doing so it supports Core Strategy Policy 6 'Local Infrastructure Needs'. The Policies Map shows the full extent of the Network, which allows applications to determine if their proposals should take this policy into account.

5.14 The policy requires that all development proposals that lie within the network, or that adjoin it, should consider how they may improve it, or at the very least do not undermine its integrity of connecting spaces and habitats. This may mean that development layouts are designed to contribute to the network's effectiveness. The policy also requires a biodiversity net gain to be delivered. This is expected to be in line with national provisions which is expected to be a minimum of 10% as identified in the Environment Act 2021. Net gain will be measured using DEFRA's latest biodiversity metric.

5.15 The policy also recognises that the provisions of the NPPF on irreplaceable habitats (such as ancient woodland or ancient or veteran trees) applies in the designated neighbourhood area. Proper management of this special resource will be expected to be in line with Natural England and the Forestry Commission's standing advice on this matter². There are also a number of underground streams in the area and developments will be expected to have regard to existing standing advice on hydrology currently provided in the form of the Development Management Guidance Note: Hydrology in Burnham Beeches, February 2014³.

5.16 There is a variety of priority habitat areas in the Parish. A very small amount of the land in the southwest corner of the designated neighbourhood area already has a Countryside Stewardship Agreements. In addition to the focussed green infrastructure project of Policy FAR1, and recent Parish Council improvements and commitments to improving existing green infrastructure (e.g. improvements at the Temple Dell), opportunities to improve green infrastructure identified by the Neighbourhood Plan include additional catchment woodland, riparian woodland and floodplain woodland planting opportunities using the 'Working with natural processes to reduce flood risk' evidence base by the Flood and Coastal Erosion Risk Management Research and Development Programme and Environment Agency in February 2021⁴ and National Habitat Network expansion, action, enhancement and restorable habitat zones using the National Habitat

² <https://www.gov.uk/guidance/ancient-woodland-ancient-trees-and-veteran-trees-advice-for-making-planning-decisions>

³ <https://www.buckinghamshire.gov.uk/planning-and-building-control/planning-policy/local-development-plans-and-guidance/local-planning-guidance/>

⁴ <https://www.gov.uk/flood-and-coastal-erosion-risk-management-research-reports/working-with-natural-processes-to-reduce-flood-risk>

Network Maps evidence base by Natural England in May 2020⁵. These opportunities are shown on Plans M and N below and the Parish Council will seek to work with landowners to realise such opportunities where possible avoiding the loss of the best and most versatile agricultural land.

5.17 Applicants are invited to refer to Buckinghamshire GI Strategy (2009) and Delivery Plan (2013) (<https://www.buckinghamshire.gov.uk/planning-and-building-control/having-a-say-and-reporting-issues/green-infrastructure/>) and Forward to 2030 – Buckinghamshire & Milton Keynes Natural Environment Partnership (<https://bucksmknep.co.uk>).

⁵
https://magic.defra.gov.uk/Metadata_for_magic/Habitat%20Network%20Mapping%20Guidance.pdf

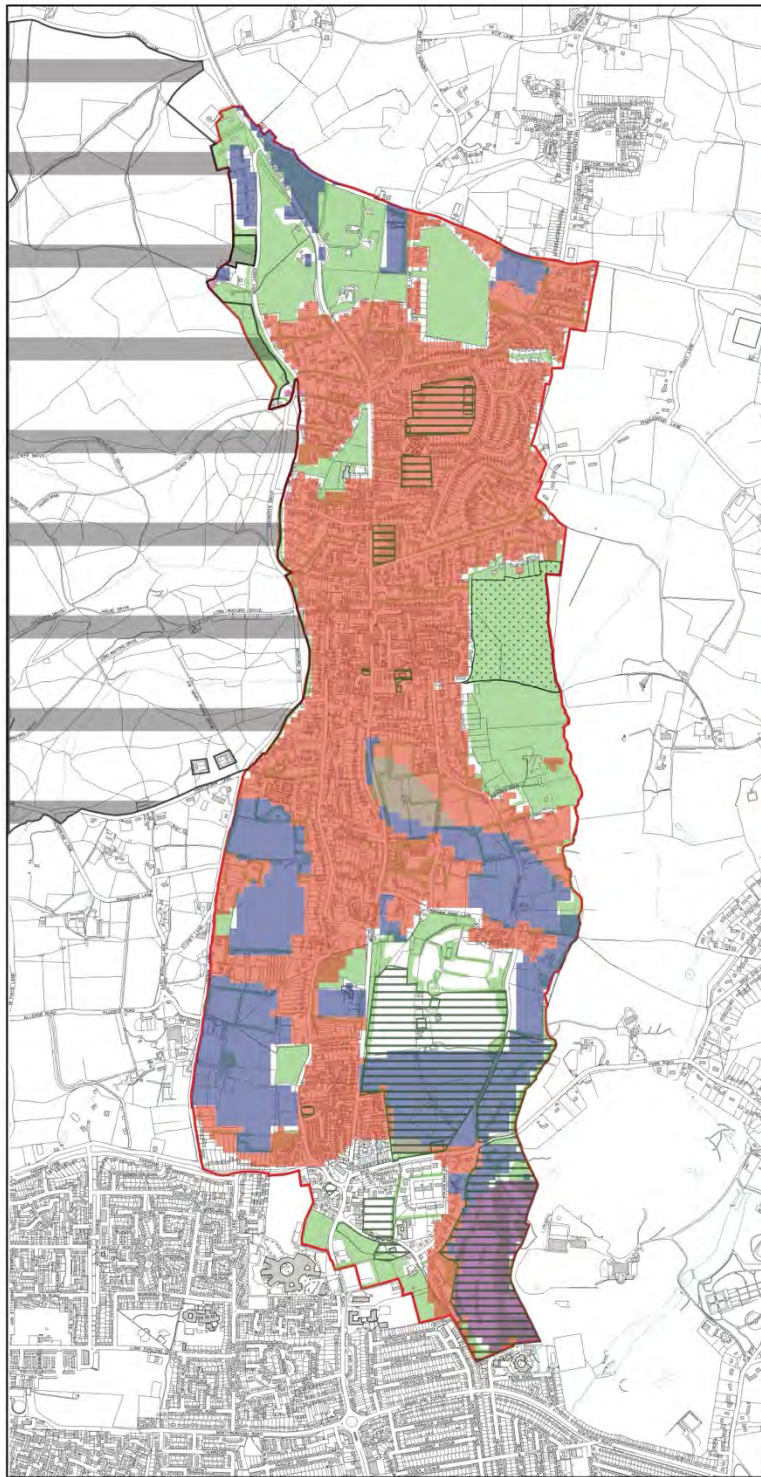


**Farnham Royal Neighbourhood Plan
Green Infrastructure Network Map
(With Natural Flood Management)
June 2024**

-  Neighbourhood Plan Area
- Existing Green Infrastructure Network**
 -  Existing Green Infrastructure with Biodiversity Value
 -  Existing Blue Infrastructure with Biodiversity Value
 -  Open Amenity Space
 -  Burnham Beeches Special Area of Protection
 -  'Shared Back Woodland'
- Natural Flood Management**
 -  Additional Riparian Woodland
 -  Additional Catchment Woodland
 -  Runoff Attenuation Features to Reduce 1/30 Annual Probability Flows
 -  Runoff Attenuation Features to Reduce 1/100 Annual Probability Flows

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Plan M: Natural flood management planting opportunities in The Farnhams (see paragraph 5.16 for further information)



Farnham Royal Neighbourhood Plan
Green Infrastructure Network Map
(With National Habitat Network)
June 2024

-  Neighbourhood Plan Area
- Existing Green Infrastructure Network**
 -  Existing Green Infrastructure with Biodiversity Value
 -  Existing Blue Infrastructure with Biodiversity Value
 -  Open Amenity Space
 -  Burnham Beeches Special Area of Protection
 -  'Shared Back Woodland'
- National Habitat Network**
 -  Fragmentation Action Zone
 -  Network Expansion Zone
 -  Network Enhancement Zone 1
 -  Network Enhancement Zone 2
 -  Restorable Habitat

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Plan N: National Habitat Network opportunities in The Farnhams (see paragraph 5.16 for further information)

5.18 Clauses E and F respond to the biodiversity net gain (BNG) provisions of the Environment Act 2021 which became a statutory part of plan making and development management in February 2024 and April 2024 for small sites. The statutory BNG Metric provides the means for applicants to calculate the baseline biodiversity value of the

application site in determining the net gain requirement of their proposals. The Policies Map makes a distinction between those parts of the Network that have, or are likely to have, existing biodiversity value, based on published mapped data and observation, and those that do not. Green infrastructure is multi-functional but some features – for example amenity and formal recreational land – are unlikely to have biodiversity value or will be suited to improving that value by the nature of their use.

5.19 Clause E relates to those parts of the Network of biodiversity value. Given it includes all defined Priority Habitats and semi-natural habitats, native hedgerows and trees and natural water bodies, the clause anticipates that the distinctiveness multiplier score of the BNG Metric (from very low to very high) will be at least medium.

5.20 Finally, the policy sets out how the loss of biodiversity value will be addressed through a sequential approach. The new biodiversity net gain requirement of at least 10% (as set out by the Environment Act of 2021 and the Biodiversity Net Gain SPD) should be delivered either onsite or within or adjoining the Network so that the benefits of development are accrued as close as possible. In every case, attention should be paid to schemes avoiding undermining the openness of the Green Belt. However, it is accepted that the Network in the Parish may not be suited to delivering every type of required off-site gain. In such cases Clause F allows for the gain to be delivered in adjoining parishes to Farnham Royal parish or, as a final resort, on land elsewhere.

5.21 Identifying our GI network is the first step to protect its functionality and connectivity and will also contribute to maintaining access to countryside and preserving the rural character.

POLICY FAR3: LOCAL GREEN SPACES

A. The Neighbourhood Plan designates the following Local Green Spaces, as shown on the Policies Map:

- A. Temple Dell**
- B. Farnham Common Sports Club**
- C. Kingsway Village Green**
- D. Devonshire Green**
- E. Farnham Royal Cricket Club, Church Road**
- F. Bishops Orchard**

B. Proposals for development in a Local Green Space should not be approved except in very special circumstances.

5.22 The policy designates a series of Local Green Spaces in accordance with §105 - §107 of the NPPF. A designation has the policy effect of the equivalence of the Green Belt in terms of the definition of 'inappropriate development' consistent with §152 of the NPPF and of the 'very special circumstances' tests in the NPPF when determining planning applications located within a designated Local Green Space. For this reason, spaces which are important, but lie within the Green Belt has not been included in this list but may be identified in other policies of the Neighbourhood Plan. This policy is in line with Core Strategy Policy 5 'Open Space, Sport and Recreation' which highlights the importance of green spaces, sports and recreational facilities for improving healthy living and social inclusion.

5.23 A review of all open land within settlement has been completed, informed by the qualifying criteria in the NPPF. The land is considered to meet those criteria and is therefore worthy of designation as illustrated and justified below. In the Parish Council's judgement, each designation is capable of enduring beyond the end of the plan period. The owners of these sites were notified of the proposed Local Green Space designations during the preparation of the Plan.

5.24 The policy has been reviewed in relation to the consideration in the Court of Appeal (2020 EWCA Civ 1259) of an equivalent policy in a neighbourhood plan in Mendip District. Policy FAR3 follows the matter-of-fact approach in the NPPF. In the event that development proposals come forward on the local green spaces within the Plan period, they can be assessed on a case-by-case basis by BC. In particular it will be able to make an informed judgement on the extent to which the proposal concerned demonstrates the 'very special circumstances' required by the policy. Similarly, to Policies FAR5 & FAR6, this policy will safeguard the tranquillity and rural character of the area.

A. TEMPLE DELL

5.25 A small area of green space (1.12 h) within the built-up area of Farnham Common. It is bounded by roads and pavements on the west (the busy A355) and south sides and housing to the north and east. Once part of the common 'wasteland' of heath and scrub used by locals to graze cattle and collect wood for burning and bracken for animal bedding. Today the area is largely amenity grassland. However, on the eastern edge and around the base



of trees are remnants of the heath and furze (gorse) vegetation. There are several mature trees mostly oak with ash, Scots pine, sycamore and weeping willow. The scrub is largely holly and brambles with a few hazel bushes. These areas of trees and heathland vegetation provide excellent habitats for native wildlife.

5.26 A community orchard of 29 native, fruit trees trees was planted in 2011, donated by several local organisations, and an interpretation board has been erected which maps the position of and gives information about the fruit trees. The mature trees are an important habitat for birds, squirrels and invertebrates. In the same year a fruiting hedge was planted by volunteers along the west boundary fence. The hedge is composed of native fruiting species of shrubs with occasional fruit trees which as well as providing a wildlife habitat provides a welcome screen for this quiet space from the busy main road. Mature hedgerows that line the perimeter are important habitats for wildlife (acts as a wildlife corridor for muntjac deer, hedgehogs, squirrels and rabbits).

5.27 Temple Dell is the most important informal recreation area in the Farnhams' parish; regularly used by parents and children walking to and from school (it is opposite Farnham Common Infant School), shoppers (it is in walking distance of the village shops) and dog walkers. The space is used for play and ball games and the benches and tables for relaxing, socialising and picnics. Regular events are held on the Dell from orchard and apple days and Mayday celebrations to carol singing events.

5.28 It is important that this area remains accessible to the local community as an area of relaxation, a 'green lung' for residents and a steppingstone/refuge for wildlife.

B. FARNHAM COMMON SPORTS CLUB

5.29 A large, green, open space at the northern end of the parish. Much of the land was gifted to the Parish Council (some 60 years ago) for recreational and sporting use by the parishioners. The area is bordered by mature trees (many of them oaks) bushes, hedgerows and fencing and surrounded by housing



and Farnham Common junior School. Many of the houses and the school have a back entrance on to the sports ground. Mature hedgerows and trees that line the perimeter are important habitats for wildlife (acts as a wildlife corridor for muntjac deer, hedgehogs, squirrels and rabbits) and provides a green buffer in a residential area.

5.30 A large majority of the grounds is leased to Farnham Common Sports and Social Club which includes the cricket club with pitch and practise net, the tennis club with six all weather courts and a small pavilion, The Drifters Rugby Club with two pitches one of which

is used by the newly formed Lacrosse Club and the Squash Club with two courts. The squash courts are housed in the Club building to the west of the sports fields. This building also houses a fitness studio, changing rooms and a large Clubhouse with bar, social area and outside terrace overlooking the cricket pitch.

5.31 The clubhouse is next to a car park for use by club members but also used by local parents when they drop off and pick up their children attending the local primary schools. The back entrance to the junior school is in the southwest corner of the recreation ground as is a footpath that leads to the main road and only a short walk to the infant school and Burnham Beeches SAC and SSSI.

5.32 The field is regularly used by dog owners to exercise their pets. There are dog bag dispensers and waste bins around its perimeter. Also in the southwest corner is a children's play area with equipment appropriate for toddlers and infant aged children. Already well used, especially after school and at weekends, use should increase after the equipment is renewed in 2023. There is a selection of outdoor gym equipment next to this playground aimed at older children and adults. This green space is the most important sporting, social and recreational community amenity in the village of Farnham Common.

C. KINGSWAY VILLAGE GREEN

5.33 Kingsway Green is a small area of grassland at the southern end and adjacent to the shops in Farnham Common. The site of the village name sign at the heart of the village. There are houses beyond it and a local pub/restaurant opposite (The Foresters). The Green contains flower beds, several benches, a flagpole and a circular



bench around the trunk of the central 'Red Oak'. The tree provides shade for visitors in the hot summer months. There are also five flowerbeds which provide a habitat for a large range of butterflies, bees and other invertebrates in an otherwise built-up area.

5.34 The area provides an open space of calm and tranquillity alongside the busy scene of shoppers and traffic. It is used as a place to rest and relax by pedestrians on their way to or from the shops or the nearby GP surgery and by walkers; it is on the Beeches Way walking route between Burnham Beeches and Stoke Poges. On Remembrance Day the Kingsway Green flagpole is used for wreath laying and at Christmas the community Christmas tree is sited here.

D. DEVONSHIRE GREEN

5.35 This small green sits on one corner of the entrance of an attractive development of mid-20th century houses. It is an open grassed space with four mature trees growing on it. Two of these trees, the copper beech and veteran, Cedar of Lebanon are particularly fine specimen trees and provides an important habitat for birds, squirrels and invertebrates. They are remnants of the former parkland estate on which the Devonshire Green development was built. As well as providing an attractive outlook the green gives the area a tranquil, parkland character, which the residents value.



E. FARNHAM ROYAL CRICKET CLUB, CHURCH ROAD

5.36 The home of Farnham Royal Cricket Club for many years catering for all ages and an essential amenity for the local community. An attractive grass area surrounded by mature trees, bushes and hedgerows providing habitats for wildlife (acts as a wildlife corridor for muntjac deer, hedgehogs, squirrels and rabbits) and provides a green buffer in a residential area. As well as the pitch there is a large cricket pavilion with outdoor seating, several long benches for spectators and practise nets for the cricketers.



5.37 The Club stands in the historic heart of the conservation area of Farnham Royal, adjacent to the village school and opposite the historic church of St Mary's with houses backing on to the other two sides of the ground. This facility significantly adds to the character of the Conservation Area. There is a strong historical link to St Mary's Church as cricket used to be played on the site after church services.

F. BISHOPS ORCHARD

5.38 An important grassed, open space in the centre of the Farnham Royal Conservation Area. It acts as a village green on one quadrant of a busy crossroads. The gardens in these roads are typically very small thus this open green space is vital for informal recreation. The green is bordered by the village pub (The Dukes Head), a car park and the houses of Bishops Orchard and provides a pleasant outlook for these homes as well as for the apartments, village shop, offices and other houses that surround the crossroads. On the green is the recently refurbished village sign, the flagpole, a bench and several mature

trees, the largest of these is lit up at Christmas time. In 2022 three large saplings were planted as part of the Queen's Jubilee Green Canopy initiative. The mature trees are an important habitat for birds, squirrels and invertebrates.

5.39 The green is also home to the historic Farnham Pump; a small, attractive, gazebo like building with brick walls and slate roof that housed the village pump and provided water for the people and animals of the village. It once stood in the centre of the crossroads and acted as a roundabout. It was moved the short distance to the green when the crossroads was redesigned, and the pump was replaced by two mini-roundabouts. This small, open space softens the impact of the busy main road and crossroads and helps to give the centre of Farnham Royal its appealing, semi-rural character.



POLICY FAR4: HOUSING MIX AND TENURE

- A. Provision should be made for a high proportion of small to mid-sized dwellings, particularly those with one, two and three bedrooms, in schemes of residential development where this can be achieved without detriment to the amenities and the character of the surrounding area and neighbouring properties. Permission will not be granted for proposals which do not incorporate a high proportion of small dwellings on a site, where a high proportion could be provided without detriment to the locality and neighbouring properties.**

- B. The starting point for affordable housing provision on land within the Parish, should be 2/3 affordable homes for rent and 1/3 affordable home ownership routes. The precise tenure mix of affordable housing will be determined on a site-by-site basis.**

5.40 The aim of this policy is to diversify the local housing stock to help satisfy the increased demand for smaller, lower cost dwellings and generally to improve choice. The existing housing stock in the parish consists predominantly of four or more bedroomed properties and is amongst the most expensive to buy in the country. The number of elderly households is projected to increase considerably over the same period.

5.41 The provision of a stock of small housing units would give the elderly an opportunity, if they wish, to vacate their larger dwellings, yet remain resident in the parish and provide an opportunity for younger and/or key worker, one and two person households to find suitable accommodation in the area. This is key for the continuing development of

vibrancy in our communities and overall sustainability of the Village Centre. Better utilisation of the existing housing stock is unlikely to occur unless smaller units are available either by the construction of new small dwellings or by the conversion of existing properties.

5.42 In addition, a greater number of smaller units can be delivered on a given site than larger units. The provision of a higher proportion of small dwellings (i.e., greater than 50% of the total of schemes of five or more dwellings) will ensure an efficient use of scarce land in the built-up areas of the villages, or where Rural Exception sites may come forward.

5.43 The tenure split of 66/33, recommended by the Farnham Royal Housing Needs Assessment (HNA) report included in the evidence base, is in line with the Affordable Housing SPD tenure split of two thirds social or affordable rent. This indicative mix is chiefly a response to the expectation that the delivery of Affordable Housing will be lower than the needs identified here. In this context, affordable rented tenures should be prioritised to a greater extent than affordable ownership. The HNA also recognises that First Homes are not affordable in the neighbourhood area, even at a 50% minimum discount. The Neighbourhood Plan therefore supports other affordable home ownership routes.

5.44 Introducing a policy relating to housing mix and tenure is crucial for addressing the affordability and community balance concerns that were raised during the community workshops. Changing the balance of housing mix towards more and smaller, two-to-three-bedroom houses would allow more younger families to join the community.

POLICY FAR5: DESIGN CODES

- A. Development proposals will be supported provided they have full regard to the Farnhams Design Code, attached as Appendix A, as relevant to their location, scale and nature.**

- B. Where schemes maximise the delivery of small to mid-sized dwellings which may lead to a difference to the local character of the character area within which the proposal is located, this will be supported provided it can be demonstrated the scheme will not have a significant harmful effect on the character area.**

5.45 Design Codes are detailed and can address a wide range of land use-based issues in an area. By identifying area-specific characteristics, they would guide future development without compromising the rural character.

5.46 This policy responds to the Government's encouragement that neighbourhood plans should set out local design guidance by refining saved Local Plan Policy EP3 'The Use, Design and Layout of Development' and Core Strategy Policy 8 'Built and Historic Environment'; and in respect of its Conservation Area by refining saved Local Plan Policy

C1 'Development Within a Conservation Area'; to provide a compendium of design guidance in the form of a Code that covers all of the Parish.

5.47 The Code is an integral part of the policy but is extensive in distinguishing the different settlements in the Parish and is therefore published separately as Appendix A to the Neighbourhood Plan. To be clear therefore, as the Code has been prepared and consulted on as part of the Plan, its content carries the full weight of the development plan in decision making and is not subordinate or supplementary guidance carrying lesser weight.

5.48 Applicants will therefore be expected to have acknowledged, understood and responded positively to the Code as relevant to the location, scale and nature of their proposals. Where a proposal does not seek to follow the requirements of the Code then the applicant will be obliged to justify why an exception should be made.

POLICY FAR6: LOCAL HERITAGE ASSETS

A. The Neighbourhood Plan identifies a number of buildings and structures as set out in Appendix B as Local Heritage Assets. The effect of an application on the significance of an identified Local Heritage Asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect a Local Heritage Asset, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset concerned.

5.49 This policy identifies a number of buildings and structures which are regarded as ('non-designated') heritage assets in the parish that, whilst not statutorily listed, have some local heritage value for the purposes of applying the provisions of §209 of the NPPF and Core Strategy Policy 8 'Built and Historical Environment'. Local volunteers identified candidate local heritage assets as part of the preparation of the evidence base supporting the Neighbourhood Plan. These have been assessed against criteria advocated by Historic England in its 2019 guidance note⁶. A description of the value of each asset is provided in the Appendix B list along with the source. The owners of the heritage assets properties have already been notified of the proposed inclusion on this list and their responses have been considered in the Consultation Statement which will be published alongside the Submission Plan in due course.

5.50 By creating a list of Local Heritage Assets, the neighbourhood plan will be able to carry out the community's wishes of protecting historic buildings and architecture that make a contribution to Farnham Royal's character and sense of place.

⁶ <https://historicengland.org.uk/images-books/publications/local-heritage-listing-advice-note-7/>

POLICY FAR7: LOCAL COMMUNITY USES AND PUBS

- A. The Neighbourhood Plan identifies the local community uses and pubs listed in Appendix C, and as shown on the Policies Map, in the parish.**
- B. Proposals that will harm or result in the loss of a local community use or pub will not be supported unless it can be clearly demonstrated that.**
 - i. A replacement building and/or land can be provided in an equally convenient location within the community it serves; or**
 - ii. It can be demonstrated that the facility is no longer required for its existing use, or for any other community use in the built-up area in which is it located, as appropriate to the type of use under consideration.**
- C. Proposals to extend a local community use or pub will be supported, provided they are consistent with the relevant policies of the development plan.**

5.51 The Local Community Uses and Pubs list identified in Appendix C is comprised of a mix of religious worship sites, educational facilities, foodservice providers, sport & recreational facilities and healthcare facilities. The Use Class Order of September 2020 now deems such uses as either Class F2 ('Local Community Uses') or in the case of the schools and churches, F1 ('Learning and non-residential Institutions'). The pubs are now deemed 'sui generis' (i.e., not included in any class of uses).

5.52 Policy COM2 'Loss of Community Facilities' of the South Bucks Local Plan and Policy 6 'Local Infrastructure Needs' of the South Bucks Core Strategy seeks to avoid the loss of community facilities. The policy therefore identifies community facilities and pubs to be protected from loss. As finding land for such uses is often difficult, it is important that established land is retained in that use, even if the current occupier is not viable. A description of each facility and its community value is provided in Appendix C. Collectively, these facilities in each settlement are cherished by the community and offer a valuable and vital resource to support community life, and therefore warrant the protection of the policy.

POLICY FAR8: EARLY YEARS PROVISION

A. Proposals to retain and improve the following early years provision facilities, as shown on the Policies Map, will be supported:

- 1. Wise Owls Pre School, Farnham Royal Village Hall, Farnham Lane**
- 2. Little Oaks Montessori Nursery School, Brian Jubb Hall, Victoria Rd**
- 3. Millwood House Private Day Nursery, Beaconsfield Road**
- 4. Dair House School, Beaconsfield Road**

5.53 The policy is intended to protect the only early years provision uses in the Parish from unnecessary loss. Each of these facilities provide an important service to the community meaning that fewer car trips are necessary to larger towns beyond the Parish. These uses now form part of Class E of the new Use Class Order, and new permitted development rights allow a change of use to residential use without the need for planning permission. In an area of very high land values for housing, such premises are therefore coming under increasing pressure.

5.54 The supporting text of Local Plan Policy COM1 'Provision of Community Facilities' places emphasis on the provision of childcare facilities such as nurseries and crèches, citing the increase in opportunities this can provide for residents.

5.55 The Parish Council therefore hopes that BC will make an Article 4 Direction for these facilities in the parish to remove those rights, enabling such changes to remain in planning control. The Parish Council will submit a formal request for this following the referendum of this Neighbourhood Plan. In the meantime, proposals for changing the use of these premises will require Prior Approval from BC. Such approval will require consideration of the impact of the loss of such early years provision. Although the Neighbourhood Plan policy (as part of the development plan) is not engaged in a Prior Approval determination by way of S38 (6) of the 1990 Planning Act, the policy demonstrates that each of these services plays an important role in providing important early years service provision to the community and could therefore be a legitimate reason for refusing approval for proposals that will harm this provision.

POLICY FAR9: FARNHAM COMMON VILLAGE CENTRE

- A. The Neighbourhood Plan defines a Village Centre at Farnham Common as shown on the Policies Map. Proposals for a change of use that will result in the loss of an active commercial, business or service use of a ground floor frontage in a village centre will be resisted.**
- B. Mixed use development schemes lying within the defined Village Centre which retain an active commercial, business or service use of a ground floor frontage and contribute to the attractiveness of the defined Village Centre through public realm enhancements will be supported. The presumption against development resulting in net new residential homes, as per the Burnham Beeches SAC SPD will continue to apply.**

5.56 It is now widely accepted that high streets need to diversify to become more community focussed in their use and to do so requires planning for a mix of different uses⁷. Unsurprisingly therefore, there is a local desire to protect community facilities and pubs, local businesses and shops, encourage new and improve existing community facilities and encourage change and improvements to the environment in the village centre. It is also therefore not enough for planning policy to seek to simply protect existing commercial business, and service uses. It is also important for planning policy to enable a diversification of uses to allow for emerging trends and needs to be met.

5.57 Farnham Common Village Centre is a functional centre and has retained a reasonable selection of commercial, business and service uses. The majority of these uses are located on or just off The Broadway, Beaconsfield Road (the A335). It therefore falls entirely within the Burnham Beeches SAC 500m presumption against development. BC has confirmed that the 500m presumption against development zone has been implemented by an SPD which is not planning policy and so does not set out a blanket ban on new homes within 500m of Burnham Beeches. It sets out a mitigation strategy to avoid adverse public access and disturbance impacts from development on the integrity of the Burnham Beeches SAC and includes model Appropriate Assessments which are a tool for decision making not a decision themselves.

5.58 The policy is therefore twofold, firstly it protects the essential core of local shopping facilities in Farnham Common Village Centre, in line with the provisions of Local Plan Policy S2 'Local Shopping Centres' and Core Strategy Policy I1 'Healthy and Viable Town and Village Centres'. The Village Centre plays a vital role in providing the local communities with convenience and local services that reduce their dependence on travelling to larger centres. Trade is made up of primarily residents, visitors from Stoke Poges (a village east of Farnham Common), visitors to the Burnham Beeches SAC and a small amount of passing

⁷ <https://www.highstreettaskforce.org.uk/resources/details/?id=40ffe198-8121-462b-b77a-7fa3a8de3550>

trade using the A335. The Chiltern and South Bucks Retail Study 2017 noted that Farnham Common was a popular destination for residents within Zone 5 (Central South Bucks) with 52.6% visiting for its pubs, bars or clubs. The focus of commercial, businesses and services use however, need only be limited to ground floor frontages and other local community uses would be well suited to upper floors, as is the case already.

5.59 It is also recognised that some changes of use do not now require planning permission and new permitted development rights (from August 2021) enabled future changes of use from what are now Class E (commercial, business and service) uses to residential uses. However, as per the adopted Burnham Beeches SAC SPD, the presumption against development for net new residential homes will continue to apply.

5.60 In addition to protecting existing commercial, business and service ground floor frontages, it is considered that changes which seek to meet local needs in retaining, or enhancing, the vitality and viability of the defined Village Centre should be encouraged and enabled. It is considered locally that trade in the defined Village Centre is hindered by a lack of free parking and heavy vehicular traffic from the A335 which leads to congestion and illegal parking. Beaconsfield Road which runs through the centre of the defined Village Centre is on the busy A355 which is an arterial route between at the South the M4 and the North the M40 motorways. There is therefore an opportunity to make improvements to the public realm in the defined Village Centre to make it a more pleasant environment to spend time in. The policy therefore also seeks to encourage mixed use schemes in the defined Village Centre, which retains an active ground floor frontage and contribute to the attractiveness of the defined Village Centre through public realm enhancements.

POLICY FAR10: SUSTAINABLE TRAVEL

- A. The Neighbourhood Plan identifies the existing Sustainable Travel Network, as shown on the Policies Map, for the purpose of supporting healthy and safe active travel opportunities in the parish.**
- B. Development proposals on land that lies within or adjacent to the Network should sustain, and where practicable, enhance the functionality of the network by virtue of their layout and means of access and landscape treatment.**
- C. Proposals that will harm to the functioning or connectivity of the network will not be supported.**
- D. Key Locations, as shown on the Policies Map, have been identified as areas where public realm improvements and traffic mitigation measures are required to enhance the active travel environment and improve residential amenity and highway safety. Proposals which deliver such public realm improvements and traffic mitigation measures at Key Locations will be supported.**

5.61 Identifying our existing sustainable travel network, and where there are opportunities for improvement, will help direct investment to encourage walking, cycling and the use of public transport. The policy maps a network of walking and cycling routes through the parish to its boundaries where many routes continue to connect the parish with the countryside and its neighbouring settlements. The aim of both is to raise awareness of the routes to encourage safe and convenient use, and to identify future opportunities to improve their connectivity, in line with Core Policy 7 'Accessibility and Transport'. There are also other local initiatives which contributes to encouraging sustainable travel such as the daily mile initiative by St Mary's Farnham CE Primary School.

5.62 The Policies Map shows the full extent of the Network, which allows applicants to determine if their proposals should take this policy into account. Where proposals include provision for landscaping, new means of access or new layouts, there may be an opportunity to relate the land better to the Network and/or improve the attractiveness of rural routes. At the very least, the policy requires that proposals that will undermine the existing value of the Network will be refused permission.

5.63 The Parish Council has adopted the Farnham Royal Active Travel Strategy included in the evidence base which informed this policy. The Strategy details the opportunities available to encourage more people to walk and cycle in and around the Parish and the local community have been supportive of the opportunities identified. The Policies Map therefore also shows the Key Locations where there are opportunities for improvement to enhance the active travel environment and the policy supports proposals which contribute to delivering such opportunities.

POLICY FAR11: ADDRESSING THE PERFORMANCE GAP

- A. All planning permissions granted for new and refurbished buildings should demonstrate that they have been tested to ensure the buildings will perform as predicted and will include a planning condition to require the provision of a Post Occupancy Evaluation Report to the Local Planning Authority within a specified period, unless exempted by Clause B. Where the Report identified poor energy performances and makes recommendations for reasonable corrective action, the applicant must demonstrate that those actions have been implemented before the condition will be discharged.**
- B. Buildings proposed to be certified to a Passivhaus or equivalent standard with a space heating demand of less than 15KWh/m²/year will not be subject to the provisions of Clause A. Where schemes that maximise their potential to meet this standard by proposing the use of terraced and/or apartment building forms of plot size, plot coverage and layout that are different to those of the character area within which the proposal is located, this will be supported, provided it can be demonstrated that the scheme will not have a significant harmful effect on the character area.**
- C. All development should be 'zero carbon ready' by design to minimise the amount of energy needed to heat and cool buildings through landform, layout, building orientation, massing and landscaping. Consideration should be given to resource efficiency at the outset and whether existing buildings can be re-used as part of the scheme to capture their embodied carbon.**
- D. A Sustainability Statement will be submitted to demonstrate compliance with the policy (except for householder applications). The statement will include a passive design capacity assessment to demonstrate how opportunities to reduce the energy use intensity (EUI) of buildings over the plan period have been maximised in accordance with the energy hierarchy. Designers shall evaluate the operational energy use using realistic information on the intended use, occupancy and operation of the building to minimise any performance gap.**
- E. All planning applications for major development are also required to be accompanied by a Whole Life-Cycle Carbon Emission Assessment, using a recognised methodology, to demonstrate actions taken to reduce embodied carbon resulting from the construction and use of the building over its entire life.**

5.64 One of the most important measures that can be taken to tackle climate change is in how buildings are designed to ensure they are 'zero carbon ready' now, so they don't have to be expensively retrofit in only a few years' time (at an estimated cost per dwelling of between £15K/£25K). There is a growing evidence base to suggest that buildings do not perform as well as anticipated at design stage. Findings demonstrate that actual energy consumption in buildings will usually be twice as much as predicted. This passes on expensive running and retrofitting costs to future occupants.

5.65 Clause A of the policy therefore requires that every building in a consented housing development scheme of any size is subject to a Post-Occupancy Evaluation (POE) including actual metered energy use, and to submit the report to the local planning authority. It will be implemented by attaching a planning condition, which will only be discharged once the report has been submitted and any recommended actions to rectify any performance gap with the design stage assessment are carried out by the developer. There is no current adopted development plan policy which seeks to deal with the performance gap. In the absence of supplementary guidance from Buckinghamshire Council on POE, guidance has been included in Appendix C. Passivhaus certified schemes will not fail in this way and they are therefore exempted from this policy requirement. PassivHaus is the most common and rigorous design approach, although the build cost is slightly higher than normal, the ongoing energy cost to occupiers is a fraction of the cost now (so avoiding fuel poverty).

5.66 To further incentivise the use of the Passivhaus, or equivalent standard, Clause B of the policy acknowledges that there may sometimes be a trade-off between its objectives and local design policy. Although meeting these standards ought not to compromise a scheme fitting in with the character of a local area, on occasions this may be the case. It therefore allows for some degree of flexibility in meeting the adopted design guidance, especially in terms of prevalent building orientation and density. Proposals seeking to apply the Passivhaus Planning Package (PHPP) must also be able to demonstrate that the Passivhaus standard can be achieved. Prior to commencement a 'preconstruction compliance check' completed by a Passivhaus Designer accredited by the Passive House Institute (PHI) will be required and secured by condition. Upon completion a Quality Approved Passivhaus certificate for each building will be required prior to occupation, again secured by condition.

5.67 Clause C of the policy requires developers to ensure they address the Government's climate change targets and energy performance at the very initial stages of design. 'Zero Carbon Ready' by design means making spatial decisions on layout and orientation of buildings at the outset to maximise the passive design benefits ('free heat') of a site and avoids leaving this to technical choices and assessment at the Building Regulation stage, by which time the opportunity may have been lost. Applicants are directed to the Net-Zero Carbon Toolkit created by Cotswold District Council and two partner councils, WODC and Forest of Dean District Council. The toolkit is available as a resource for private and public sector organisations to use and adopt ([link](#)).

5.68 Clause E requires a Sustainability Statement to demonstrate compliance with the policy along with the passive design capacity assessment, it is anticipated that designers will demonstrate compliance using a design for performance methodology such as the PHPP or CIBSE TM34 Operational Energy. Achieving this level of performance will make a significant contribution to mitigating climate change that the Neighbourhood Plan can help deliver. Many developers and housebuilders are 'pricing in' the need to meet such standards within the next five years anticipating that the Government will need to make national requirements as part of its climate change obligations. This new information requirement need not be an unreasonable expectation of even the smallest schemes for new buildings.

5.69 The policy complements Core Strategy policy 8 on built and historic environment and policy 12 on sustainable energy. However, in the absence of any current adopted policy in Huntingdonshire District covering the energy performance of new buildings, Clause E also requires all development proposals that are not householder applications to be accompanied by a Whole Life-Cycle Carbon Emissions Assessment, RICS methodology is preferred ([link](#)).The assessment will enable the design team to understand and respond to the lifetime consequences of their design decisions and to design for adaptability, longevity and disassembly; contributing to resource efficiency (as per Clause C of the policy) and contributing to the 'circular economy'.

5.70 These requirements will be added to the Buckinghamshire Council Validation Checklist for outline and full planning applications applying to proposals in the parish until such a time that there is a district-wide requirement.

5.71 Every new build or redevelopment project in the parish provides an opportunity to make a difference and a contribution towards meeting our climate change targets for 2050. This new information requirement need not be an unreasonable expectation of even the smallest schemes for new buildings.

6. IMPLEMENTATION & MONITORING

6.1 The Neighbourhood Plan will be implemented through the determination of planning applications for development in the parish by BC.

DEVELOPMENT MANAGEMENT

6.2 The planning authority will use a combination of the Local Plan and Neighbourhood Plan policies to inform and determine its planning application decisions. The Parish Council is a statutory consultee on planning applications made in the parish and it will be made aware of any future planning applications or alterations to those applications by the planning authority. It will seek to ensure that the Neighbourhood Plan policies have been identified and applied correctly by applicants and by officers in their decision reports.

6.3 Where necessary, the Parish Council may seek to persuade the Secretary of State to call-in a planning application that it considers is in conflict with the Neighbourhood Plan but which the planning authority has deemed to consent. Similarly, it may also seek to persuade the Secretary of State to recover an appeal of a refused application, where the conflict with one or more Neighbourhood Plan policies has been important in the reasons for refusal. In both cases, the Parish Council will do so if it considers matters of national policy significance (for neighbourhood planning) are raised.

LOCAL INFRASTRUCTURE IMPROVEMENTS

6.4 Initial consultations with local residents and users of local facilities demonstrated the importance of infrastructure improvements including community facilities. Opportunities may arise through S106 agreements or through the Community Infrastructure Levy (CIL) to secure financial contributions to invest in improving local infrastructure. When the Neighbourhood Plan is made, the Parish Council will be able to determine how and where 25% of the CIL collected from schemes in the parish is spent (currently only 15%). An indicative list is provided below, and the Parish Council will keep this updated as needs develop:

- Green infrastructure improvement projects – including the 'shared back woodland' project, Boundary Copse improvements and the creation of a parish Woodland Management Plan to include the increased planting of native mature trees in the parish;
- Sustainable travel improvement projects – focussing on Key Locations
- Community-based Sustainable Drainage Schemes⁸
- Village centre public realm enhancements

⁸ <https://www.rtpi.org.uk/policy-and-research/research/planning-research-matters/resilience-and-adaptation-planning/exploring-new-ways-to-manage-surface-water/>

- Community facilities enhancements – including retrofitting buildings to improve their energy efficiency and the cost of running these buildings; demolition of the old guide hut in Farnham Common; Farnham Common Playground equipment

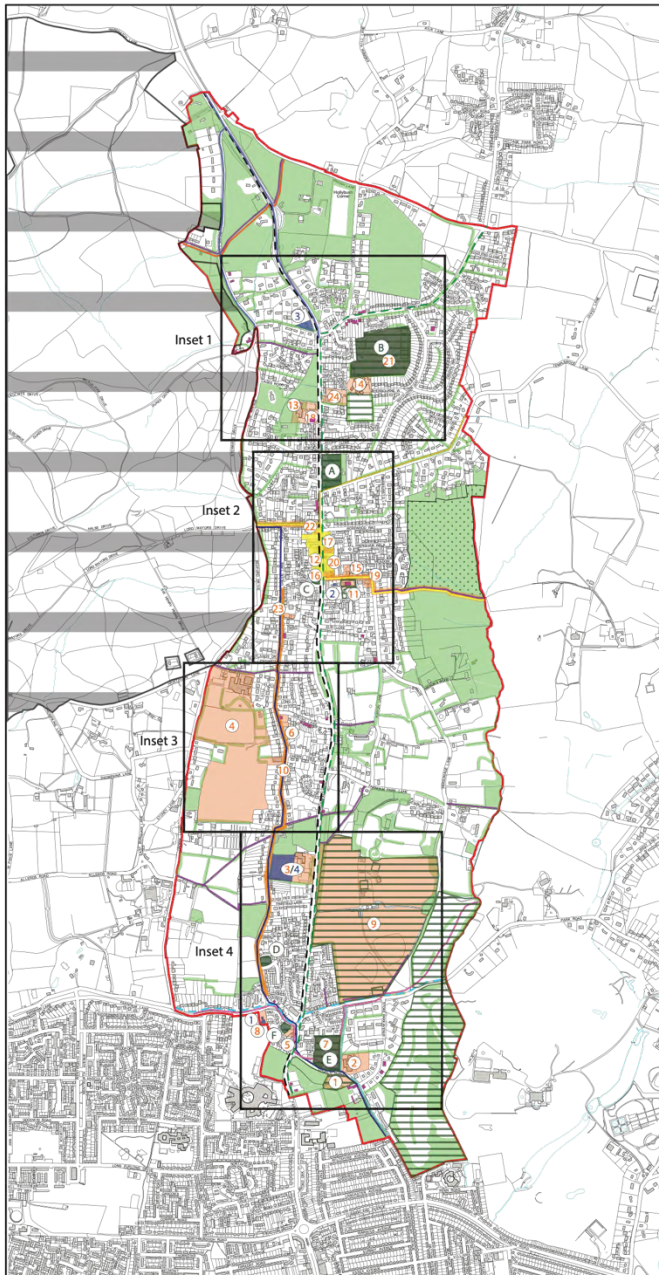
OTHER NON-PLANNING MATTERS

6.5 During the process of preparing the Neighbourhood Plan, there have been many ideas for improving or addressing current problems in the parish that lie outside the scope of the land use planning system to control. The Parish Council has noted these issues and will take them forward through its day-to-day business and in partnership with the local community and relevant parties. These include:

- Implementing traffic mitigation and parking measures which was a top priority for the local community, in particular the restriction of heavy goods vehicles through the village centre on the A355. Community Speedwatch is currently being planned for.
- The need for residential road parking permit schemes, traffic controls, protection of verges and a pricing scheme for local residents at the Broadway car park were also highlighted.
- In general, it was felt that more could be done to improve the appearance of the village in particular preventive maintenance of public footpaths, drainage and roads. Fly tipping remains a constant issue which needs resolution.
- The Parish Council is also currently working on creating a Neighbourhood Association, Traders Association, and holding a number of community events.
- An alternative approach to the protection of mature trees as a blanket TPO approach has previously been rejected by BC.
- Better enforcement of existing TPOs.

POLICIES MAPS & INSETS

The Farnhams Neighbourhood Plan Policies Map - June 2024



Neighbourhood Plan Area

FAR 1: Rural Resilience

'Shared Back Woodland'

FAR 2: Green and Blue Infrastructure Network

Existing Green Infrastructure with Biodiversity Value

Existing Blue Infrastructure with Biodiversity Value

Open Amenity Space

Burnham Beeches Special Area of Conservation

FAR 3: Local Green Spaces

Local Green Spaces

- A. Temple Dell
- B. Farnham Common Sports Club
- C. Kingsway Village Green
- D. Devonshire Green
- E. Farnham Royal Cricket Club, Church Road
- F. Bishops Orchard

FAR 6: Local Heritage Assets

Local Heritage Assets

FAR 7: Local Community Uses and Pubs

Local Community Uses and Pubs

- 1. St Mary's Church
- 2. St Mary's Church of England Primary School
- 3. Dair House School
- 4. Caldicott Preparatory School
- 5. Dukes Head Public House
- 6. The Emperor Public House
- 7. Farnham Royal Cricket Club
- 8. Farnham Royal Village Hall
- 9. Farnham Park Playing Fields
- 10. Chandos Lodge Nursing Home
- 11. St John's Church
- 12. Living World International Church
- 13. Farnham Common Infant School
- 14. Farnham Common Junior School
- 15. The Victoria Public House
- 16. The Foresters Public House
- 17. The Stag and Hounds Public House
- 18. Royal Oak Public House
- 19. Farnham Common Village Hall
- 20. Farnham Common Community Library
- 21. Farnham Common Sports Club
- 22. Carling Dental Practice
- 23. Southmead Doctor's Surgery
- 24. Farnham Common House Care Home

FAR 8: Early Years Provision

Early Years Provision

- 1. Wise Owls
- 2. Little Oaks Montessori Nursery School
- 3. Millwood House Private Day Nursery
- 4. Dair House School

FAR 9: Farnham Common Village Centre

Village Centre Boundary

FAR 10: Sustainable Travel

Key Locations

Bus Routes

- Bus X74 and 103
- Bus 53
- Bus 583

Public Rights of Way

- Footpath
- Bridleway

Long distance walks

- Beeches Way
- Hedgerley

Cycling routes

- National Cycle Route 461
- National Cycle Route extended north to Beaconsfield with a link between Parish Lane and One Pin Lane
- Proposed cycle route linking Stoke Poges, Farnham Royal and Burnham
- Beeches Cycleway

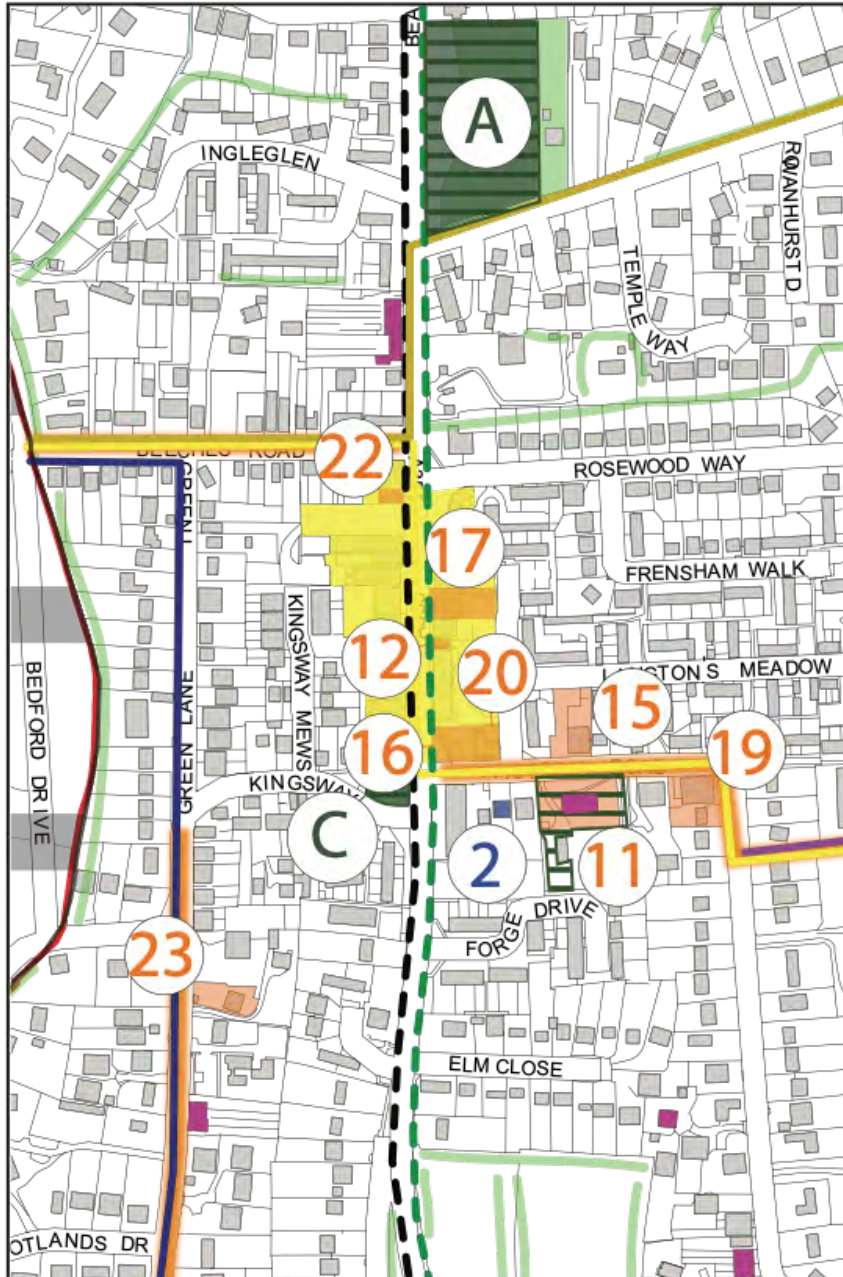
The Farnhams Neighbourhood Plan Policies Map - Inset 1 June 2024



- Neighbourhood Plan Area
- FAR 2: Green and Blue Infrastructure Network**
 - Existing Green Infrastructure with Biodiversity Value
 - Existing Blue Infrastructure with Biodiversity Value
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 - Burnham Beeches Special Area of Conservation
- FAR 3: Local Green Spaces**
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 - Bus X74 and 103
 - Bus 583
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 - Footpath
 - Cycling routes**
 - National Cycle Route extended north to Beaconsfield with a link between Parish Lane and One Pin Lane

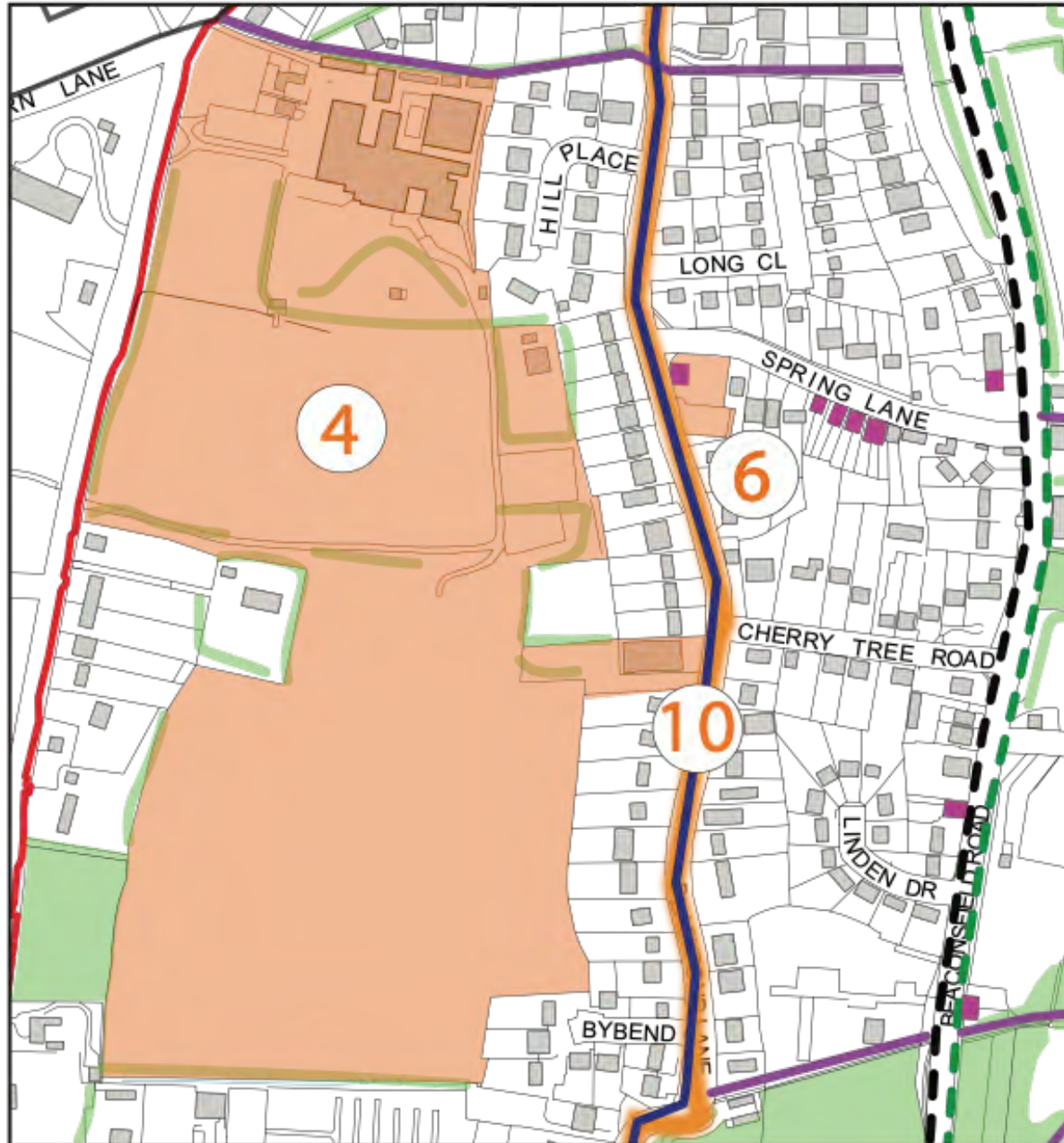
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The Farnhams Neighbourhood Plan Policies Map - Inset 2 June 2024



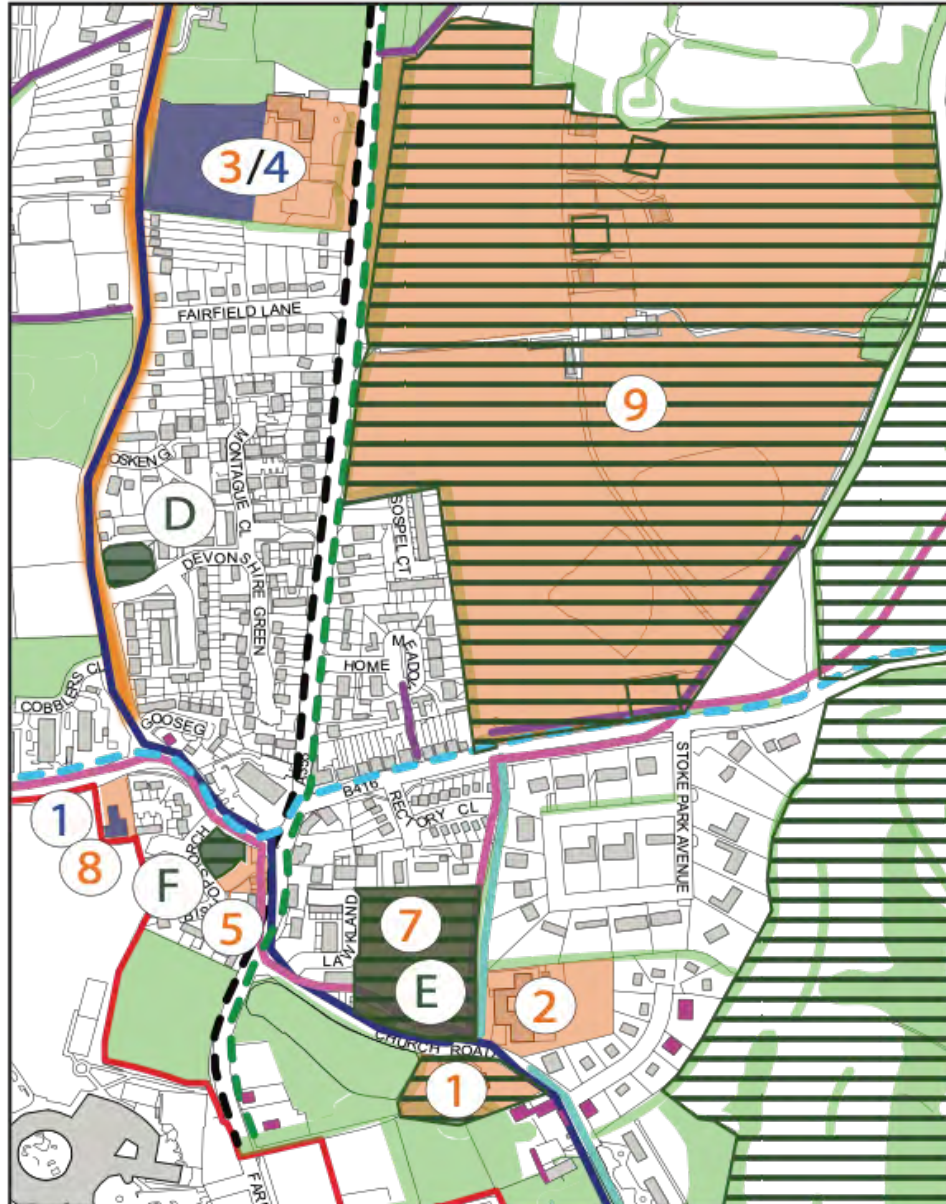
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- FAR 9: Farnham Common Village Centre**
 - Village Centre Boundary
- FAR 10: Sustainable Travel**
- Key Locations**
 - Key Locations
- Bus Routes**
 - Bus X74 and 103
 - Bus 583
- Long distance walks**
 - Beeches Way
- Cycling routes**
 - National Cycle Route 461
 - Beeches Cycleway

The Farnhams Neighbourhood Plan
Policies Map - Inset 3
June 2024







-  Neighbourhood Plan Area
- FAR 2: Green and Blue Infrastructure Network**
 -  Existing Green Infrastructure with Biodiversity Value
 -  Existing Blue Infrastructure with Biodiversity Value
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- FAR 10: Sustainable Travel**
- Key Locations**
 - 
- Bus Routes**
 -  Bus X74 and 103
 -  Bus 583
- Public Rights of Way**
 -  Footpath
- Cycling routes**
 -  National Cycle Route 461

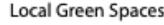
The Farnhams Neighbourhood Plan Policies Map - Inset 4 June 2023





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-  Neighbourhood Plan Area


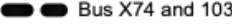




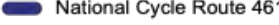
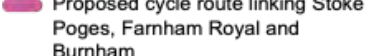
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 - Cycling routes**
 -  National Cycle Route 461
 -  Proposed cycle route linking Stoke Poges, Farnham Royal and Burnham

APPENDICES

APPENDIX A – THE FARNHAMS DESIGN CODE

APPENDIX B – LOCAL HERITAGE ASSETS

APPENDIX C – THE FARNHAMS COMMUNITY FACILITIES AND PUBS

APPENDIX D – POST OCCUPANCY EVALUATION GUIDANCE

THE FARNHAMS

Design guidance and codes

Final Report
April 2024

Quality information

Prepared by	Check by	Approved by
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Graduate Urban Designer	Associate Urban Designer	Director

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1	29.06.2023	First draft	Lavenya Parthasarathy	Graduate Urban Designer
2	18.07.2023	Second draft following review by the steering group	Lavenya Parthasarathy	Graduate Urban Designer
3	10.08.2023	Final report	Lavenya Parthasarathy	Graduate Urban Designer
4	19.04.2023	Final report update following Reg 14 consultation	Lavenya Parthasarathy	Graduate Urban Designer

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A photograph of a brick house with a garden, overlaid with a teal circular graphic containing text. The house is a two-story brick building with a tiled roof and a chimney. A black car is parked on the left. The garden is lush with green plants and yellow flowers. The sky is blue with white clouds.

INTRODUCTION

01

1. INTRODUCTION

1.1 PURPOSE AND PROCESS

This design guide supports the design policies of the Neighbourhood Plan. It provides further contextual information, and guidance and codes that demonstrates how development may reflect the design policies of the Neighbourhood Plan.

The guidance and codes should be considered when designing development alongside other national and local policies and guidance.

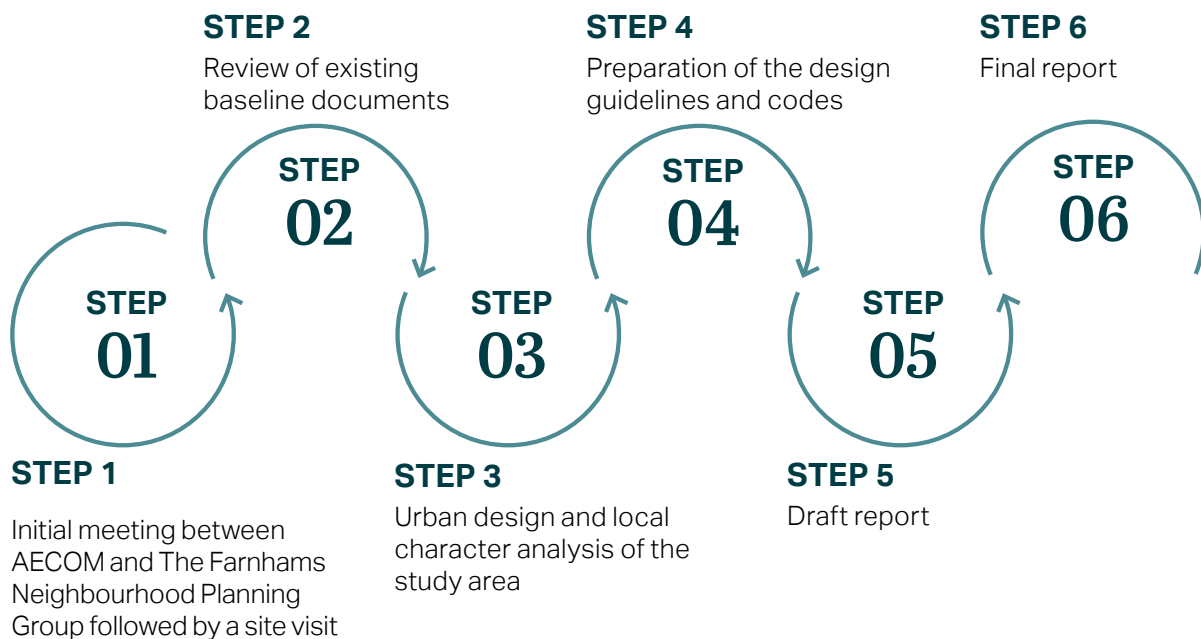


Figure 01: Diagram illustrating the process to preparing this design guide

1.2 POLICY CONTEXT

This section outlines the national and local planning policy and guidance documents that have influenced, and should be read in conjunction with, this design guide.

1.2.1 NATIONAL POLICY AND GUIDANCE

National Planning Policy Framework Department of Levelling Up, Housing and Communities

Development needs to consider national level planning policy guidance as set out in the National Planning Policy Framework 2021 (NPPF) and the associated National Planning Policy Guidance (NPPG). In particular, the NPPF Chapter 12: Achieving well-designed places stresses the creation of high-quality buildings and places as being fundamental to what the planning and development process should achieve. It sets out a number of principles that planning policies and decisions should consider ensuring that new developments are well-designed and focus on quality.

National Model Design Code Department of Levelling Up, Housing and Communities

The National Model Design Code 2021 provides detailed guidance on the production of design codes, guides and policies to promote successful design. It expands on 10 characteristics of good design set out in the National Design Guide. This guide should be used as reference for new development.

National Design Guide

Department of Levelling Up, Housing and Communities

The National Design Guide 2019 illustrates how well-designed places that are beautiful, enduring and successful can be achieved in practice.

Building for a Healthy Life Homes England

Building for a Healthy Life (BHL) is the Government-endorsed industry standard for well-designed homes and neighbourhoods. The BHL toolkit sets out principles to help guide discussions on planning applications and to help local planning authorities to assess the quality of proposed (and completed) developments, but can also provide useful prompts and questions for planning applicants to consider during the different stages of the design process.

BHL is supported by Streets for a Healthy Life, which demonstrates what can be achieved in creating streets as places for people.

Manual for Streets Department for Transport

Development is expected to respond positively to the Manual for Streets 2007, the Government's guidance on how to design, construct, adopt and maintain new and existing residential streets. It promotes streets and wider development that avoid car dominated layouts but that do place the needs of pedestrians and cyclists first.

1.2.2 LOCAL POLICY AND GUIDANCE

South Bucks Townscape Character Study

South Bucks District Council

Townscape Character Assessment is a tool that allows the townscape character of urban areas to be understood, explained and described in a transparent and robust way by mapping and describing the variations in physical and cultural elements that make one area distinctive from another at a range of spatial scales. Townscape Character Assessment also recognises how townscapes have changed over time and acknowledges the changing influences of human activities and the impacts of economic development.

South Bucks District Landscape Character Assessment

Buckinghamshire County Council and South Bucks District Council

The South Bucks District Landscape Character Assessment (LCA) was prepared on behalf of Buckinghamshire County Council and South Bucks District Council. The assessment was carried out in parallel with assessments for Chiltern and Wycombe Districts and uses a format consistent with the existing Aylesbury Vale Landscape Character Assessment produced in May 2008. The aim being to provide an integrated Landscape Character Assessment for the entire County of Buckinghamshire.

Residential Design Guide SPD

South Bucks District Council

The Residential Design Guide SPD was produced to form part of the South Bucks Local Development Framework (LDF) by further defining and implementing the policies contained within the Development Plan Documents (DPDs). The guidance within this Supplementary Planning Document (SPD) enables developers, architects, applicants and the public to understand the residential design standards that will be sought within the District.

Affordable Housing SPD

South Bucks District Council

The purpose of this SPD is to provide advice on how the Council's affordable housing policy will be implemented through the planning process.

Farnham Royal Conservation Area Appraisal

South Bucks District Council

The Council proposed the designation of a new conservation area entitled "Farnham Royal Conservation Area". Details of the proposals were set out in the draft version of this appraisal. The purpose of this appraisal is to define and record the special architectural and historic interest of the conservation area. In addition it records some of the features which currently detract from the character or appearance of the area and where enhancement opportunities may be available.

1.3 AREA OF STUDY

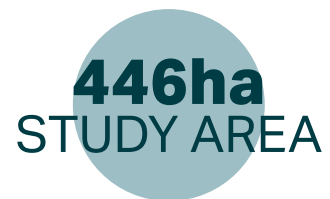
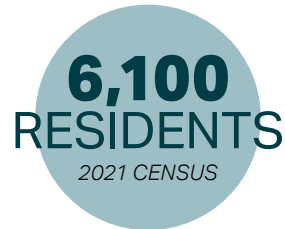
The Neighbourhood Area of Farnham Royal is a civil parish in the unitary authority of Buckinghamshire (refer to Figure 2). The parish also contains Farnham Common, and is collectively known as 'The Farnhams'.

The neighbourhood area shares its boundary with the parish of Stoke Poges to the east, Burnham to the west, Hedgerley to the north, and Slough to the south. The linear north-south parish is split by the A355, connecting Slough to the south and onto the M40 to the north.

The historic core of the settlement sits at the junction towards the south of the parish, where the historic public houses, other community facilities, and the parish church of St Mary. The parish has a range of amenities, with shops, small supermarkets, offices, restaurants and pubs. The local schools, Farnham Common Infant and Junior School, St Mary's Farnham Royal Church of England Primary School, Dair House Pre-Preparatory and Caldicott Preparatory School are well-regarded.

The parish is characterised by its green spaces, with substantial wooded areas, and Stoke Park. Some sections of Burnham Beeches, a 375 ha National Nature Reserve (NNR) also sits within the parish's boundary.

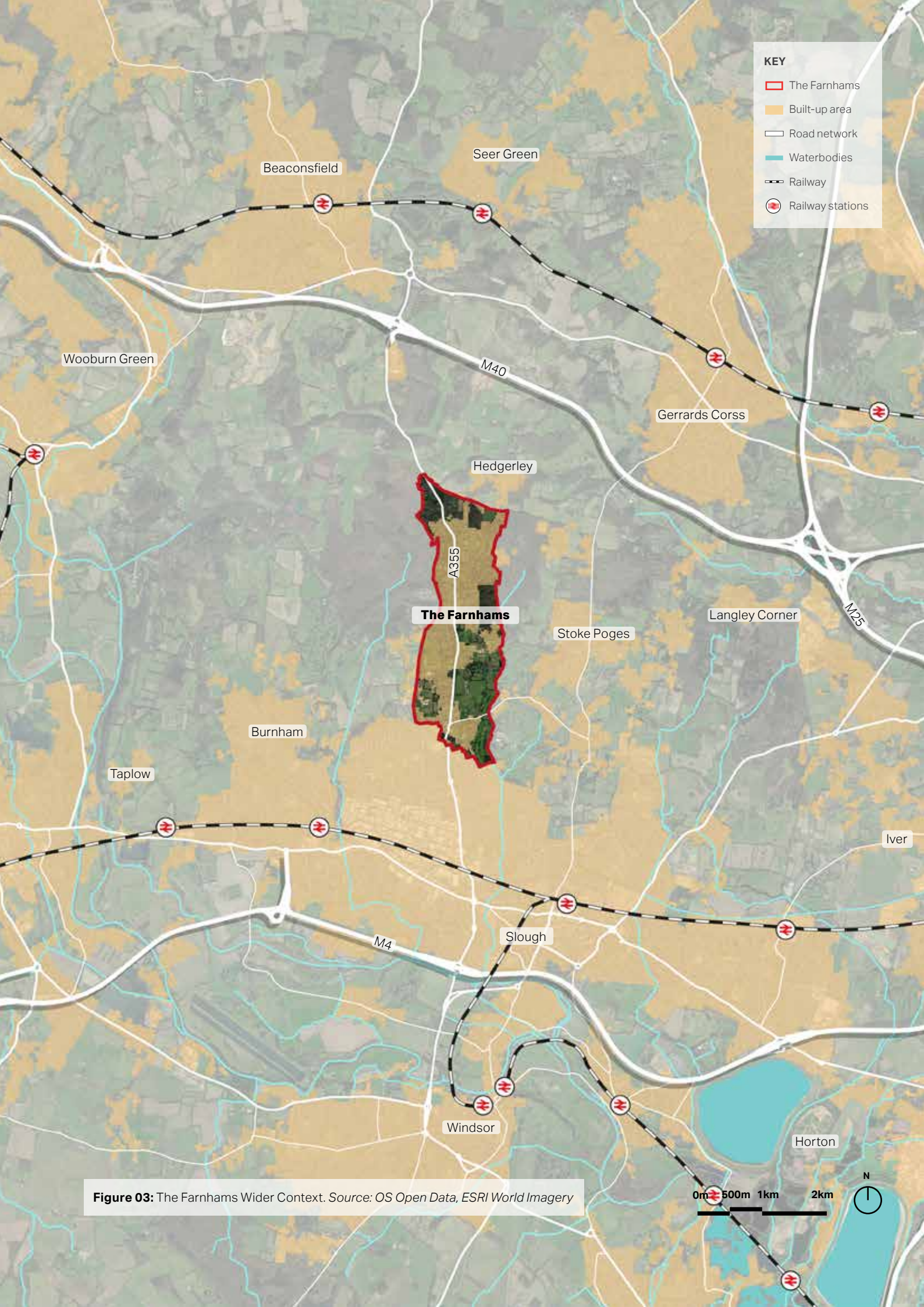
Considering the parish's close proximity to London, it has retained most of the woodland and area of open countryside, which helps maintain the 'urban village' atmosphere of the neighbourhood area.



- FARNHAM ROYAL NEIGHBOURHOOD AREA
- ◐ FORMER SOUTH BUCKS DISTRICT
- BUCKINGHAMSHIRE COUNTY



Figure 02: Farnham Royal Neighbourhood Area within context of Buckinghamshire



KEY

- The Farnhams
- Built-up area
- Road network
- Waterbodies
- Railway
- Railway stations

Figure 03: The Farnhams Wider Context. Source: OS Open Data, ESRI World Imagery

0m 500m 1km 2km

N ⊕

A photograph of a residential street with several cars parked along the side. The houses are two-story buildings with brick and white facades. A large teal circle is overlaid on the center of the image, containing the text 'LOCAL CHARACTER ANALYSIS' and the number '02'.

LOCAL CHARACTER
ANALYSIS

02

2. LOCAL CHARACTER ANALYSIS

This section presents a snapshot of the Neighbourhood Area today to inform the design objectives of the Design Guidance and Codes. It provides an overview of The Farnhams’s heritage, landscape, and movement network.

2.1 HISTORY AND HERITAGE

HISTORIC SETTLEMENT AND PATTERN

The Farnhams are an historic settlement with records dating back to the Anglo-Saxon period, the name ‘Farnham’ means ‘homestead where ferns grow’. The settlement was mentioned in the Domesday Book of 1086. The village was originally gifted to the Lord of the Manor of Farnham, Bertram de Verdyn, by the King in the late 11th century. Bertram de Verdyn is said to have fought at the Battle of Hastings with William the Conqueror.

Before the 1830s, the area currently known as ‘Farnham Common’ was called ‘Farnham Royal Common’ or ‘Farnham Heath’.

Much of the historic plan-form and field-patterns have been retained, boasting the village’s strong identity as a rural settlement, despite its proximity to the town of Slough. The village’s historic character can be seen through its heritage designations including conservation areas and listed buildings.



Figure 04: The village centre, Farnham Royal, 1921; Source: *Historic England*



Figure 05: Farnham Chase House and surrounding countryside, Farnham Royal, 1935; Source: *Historic England*

CONSERVATION AREAS

The Farnham Royal civil parish contains one designated conservation area: 'Farnham Royal'. The conservation area is statutorily protected and defined as "areas of special architectural or historic interest the character or appearance of which it is desirable to preserve or enhance" (section 69 of the Planning (Listed Buildings and Conservation Areas) Act 1990). Please refer to the Farnham Royal Conservation Area Character Appraisal for more information.¹

LISTED BUILDINGS

The Neighbourhood Area contains 16 listed buildings, 4 of which are in the Conservation Area. All the listed buildings are Grade II. Some of the historic buildings listed below²:

- **Church of St Mary**; originally listed in 1955. 12th century parish church.
- **Mead Farmhouse**, originally listed 1955. Early 18th century. Timber-framed; grey brick with red brick dressings; old tile-hipped roof.
- **Yew Place**, originally listed 1955. C16, refronted and restored in C18. Colour-washed roughcast; old tile roof.
- **Pump Shelter**, originally listed 1985. C19. Hexagonal open shelter. Red brick dwarf wall with stone coping; turned wooden posts; conical red patterned tiled roof with finial. (see Figure 06)

There are also a number of heritage assets within the neighbourhood area which are not listed but are local landmark buildings of value. An example of this is the Victoria Public House, built in 1890. Figure 07 portrays a photomontage of the pub over time.

¹ https://www.southbucks.gov.uk/media/10625/Farnham-Royal-Character-Appraisal/pdf/Farnham_Royal_Character_Appraisal.pdf

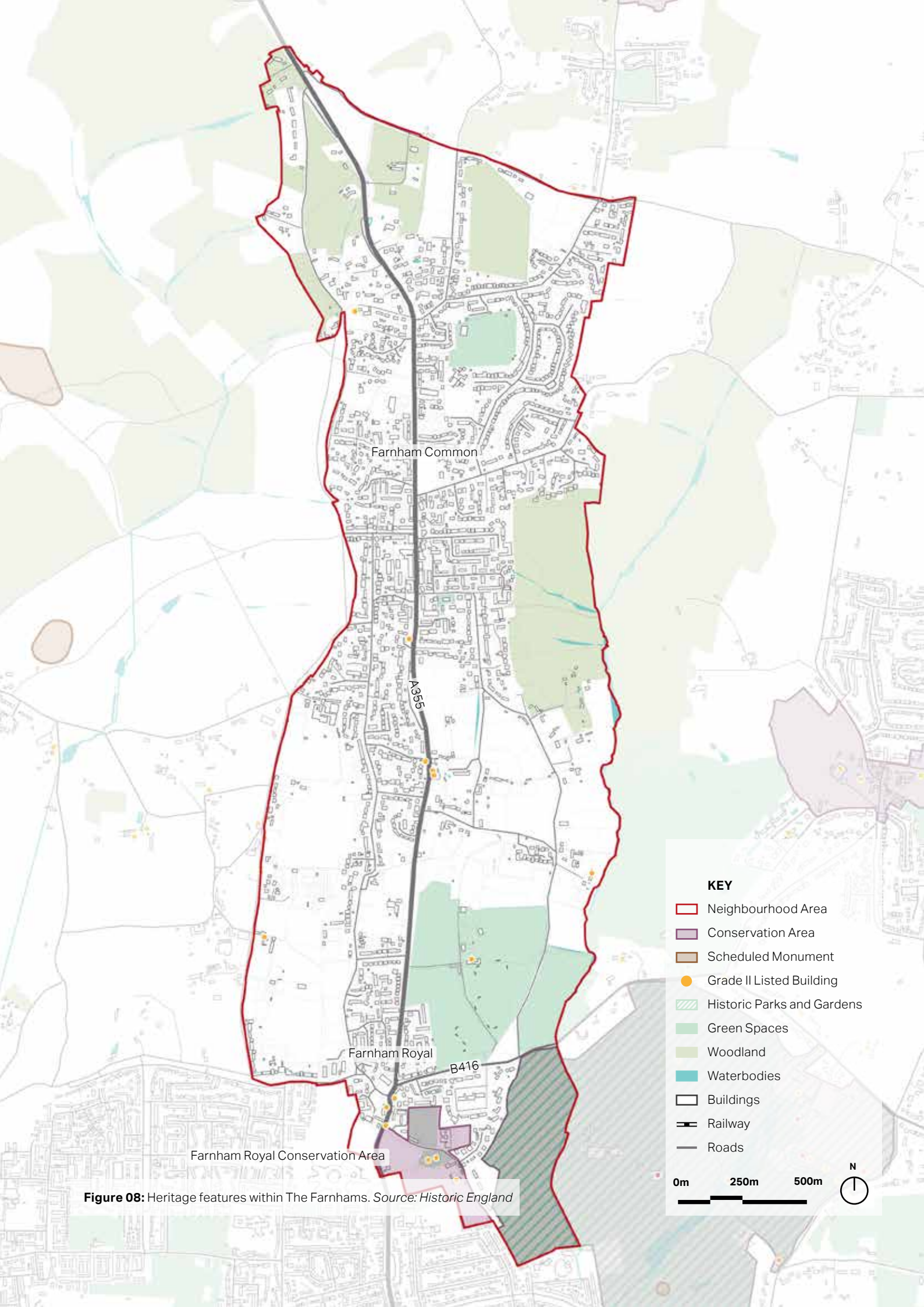
² <https://historicengland.org.uk/>



Figure 06: The Pump Shelter, Farnham Park



Figure 07: The Victoria Public House, built 1890. The above photomontage portrays the current pub (2023) with the then 'Victoria Hotel' (1965)



KEY

- Neighbourhood Area
- Conservation Area
- Scheduled Monument
- Grade II Listed Building
- Historic Parks and Gardens
- Green Spaces
- Woodland
- Waterbodies
- Buildings
- Railway
- Roads

0m 250m 500m



Figure 08: Heritage features within The Farnhams. Source: Historic England

2.2 LANDSCAPE DESIGNATIONS

LANDSCAPE CHARACTER AND STATUTORY DESIGNATIONS

Buckinghamshire's rich and varied landscape is renowned for its natural beauty. The district has a strong wooded character with a significant number of ancient woodlands, which is evident within the neighbourhood area. The landscape and green infrastructure network frames Farnham Royal's unique character and setting, despite its proximity to London.

Some areas of the Burnham Beeches Nature Reserve sits within the parish boundary and holds statutory designations of Special Area of Conservation (SAC), and Site of Special Scientific Interest (SSSI).

GREEN INFRASTRUCTURE

A multi-functional network of green infrastructure is the hallmark of liveability and healthy ecological systems in settlements. Green infrastructure includes green space but also assets such as allotments, playing fields, wildlife corridors, woodlands, blue infrastructure (e.g. waterways), areas of landscaping and trees. Green infrastructure assets of the Neighbourhood Area are detailed in the Neighbourhood Plan.

Natural England's Green Infrastructure Framework is a key guiding document that also provides more information on the types and benefits of green infrastructure.



Figure 10: Burnham Beeches Nature Reserve



Figure 09: Mature Pine tree within a green open space, Devonshire Green

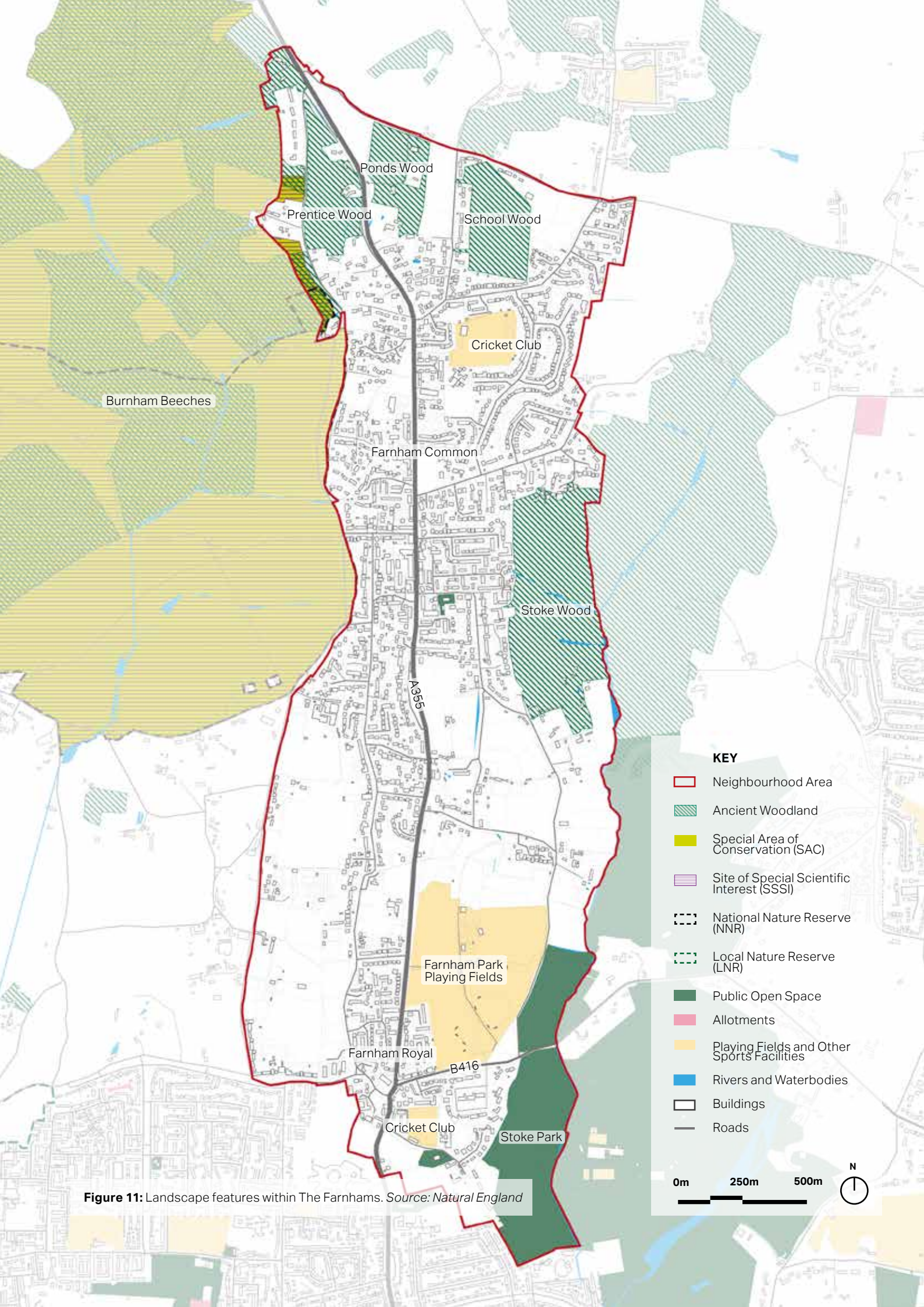


Figure 11: Landscape features within The Farnhams. Source: Natural England

2.3 ACCESS AND MOVEMENT

ROADS

The Farnhams are well-connected, the A355 runs centrally through the settlement giving access to the M40 via Junction 2. However there are concerns about traffic levels, road safety, parking and public transport provision

Secondary roads form connections within the built-up area, as well as the main vehicular routes serving the residential area and the lanes through Farnham Common. These roads typically have 2 lanes with central road markings and within the rural landscape are lined on both sides with thick hedgerows. Cul-de-sac roads form much of the more recent residential development in the built-up areas. These have meandering layouts and pavement provision.

WALKING AND CYCLING

The parish benefits from a number of Public Rights of Ways (PRoW) that connect the town to neighbouring settlements and surrounding countryside. There are also some footpaths within the built-up area which provides pedestrian routes.

The national cycle route 461 runs along Blackpond Lane connecting Farnham Common to Slough and Windsor.

PUBLIC TRANSPORT

The settlement is serviced by the Slough Railway station for public transport, with Great Western Railway and Elizabeth line underground links into central London.



Figure 13: Beaconsfield Road (A355)



Figure 12: The Forester's Arms bus stop, Beaconsfield Road



KEY

- Neighbourhood Area
- Primary Roads
- Secondary Roads
- Residential Streets
- Access Roads
- Public Rights of Way (PRoW)
- National Cycle Network
- Green Spaces
- Woodland
- Waterbodies
- Buildings
- Roads

0m 250m 500m

N

Figure 14: Movement features within The Farnhams. Source: OS Open Data

CHARACTER STUDY

03





30

3. CHARACTER STUDY

This section outlines the character areas of The Farnhams. These areas vary in character primarily due to their location, setting and period of development.

3.1 CHARACTER AREAS

Following on from the analysis set out above, this chapter focuses on the different character areas within the parish. The different areas are characterised by variations in topography, movement, views and landmarks, green space and landscape cover, public realm and streetscape, built form and architectural details. Principally, they are defined by the existing villages. Farnham Royal, Farnham Common which are discussed in South Bucks Townscape Character Study.

The three overarching character areas are then further analysed in more detail. Each character area's unique attributes are deconstructed into sub-character areas, which are set out in the South Bucks Townscape Character Study.

1

FARNHAM ROYAL

Designated within the Farnham Royal Conservation Area, defined by historic origins.

2

FARNHAM COMMON

Serves as the commercial centre of the neighbourhood area, with varied mix of housing.

3

FARNHAM HEATH

Residential areas to the north of the neighbourhood area, composed of country lanes and cul-de-sacs.

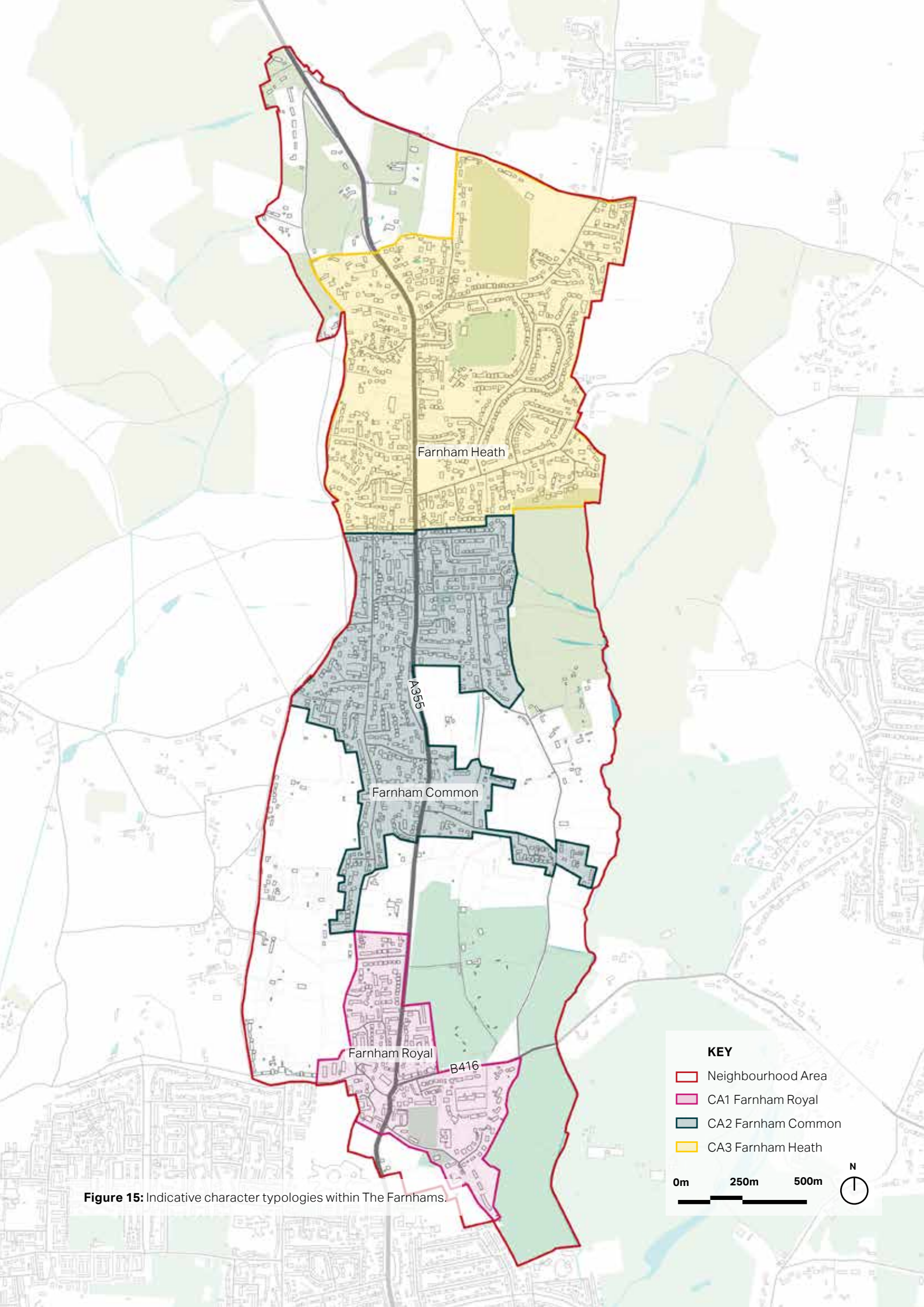


Figure 15: Indicative character typologies within The Farnhams.

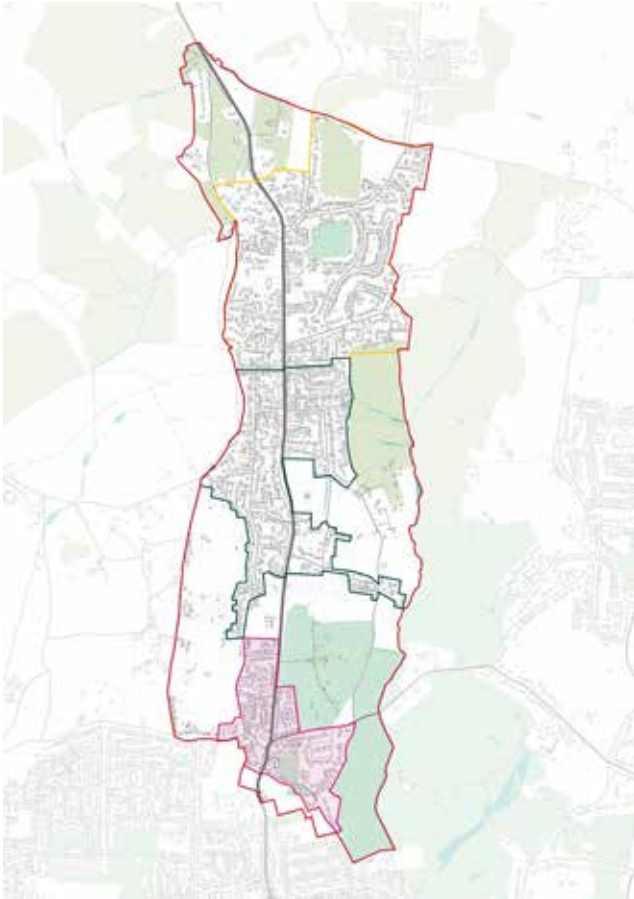
KEY

- Neighbourhood Area
- CA1 Farnham Royal
- CA2 Farnham Common
- CA3 Farnham Heath

0m 250m 500m

N

CA1 FARNHAM ROYAL



The Farnham Royal character area is located at the south of the neighbourhood area and contains the historic core of Farnham. The character of the settlement is defined by the Farnham Royal conservation area. Situated to the east, Stoke Park provides the landscape setting to the character area.

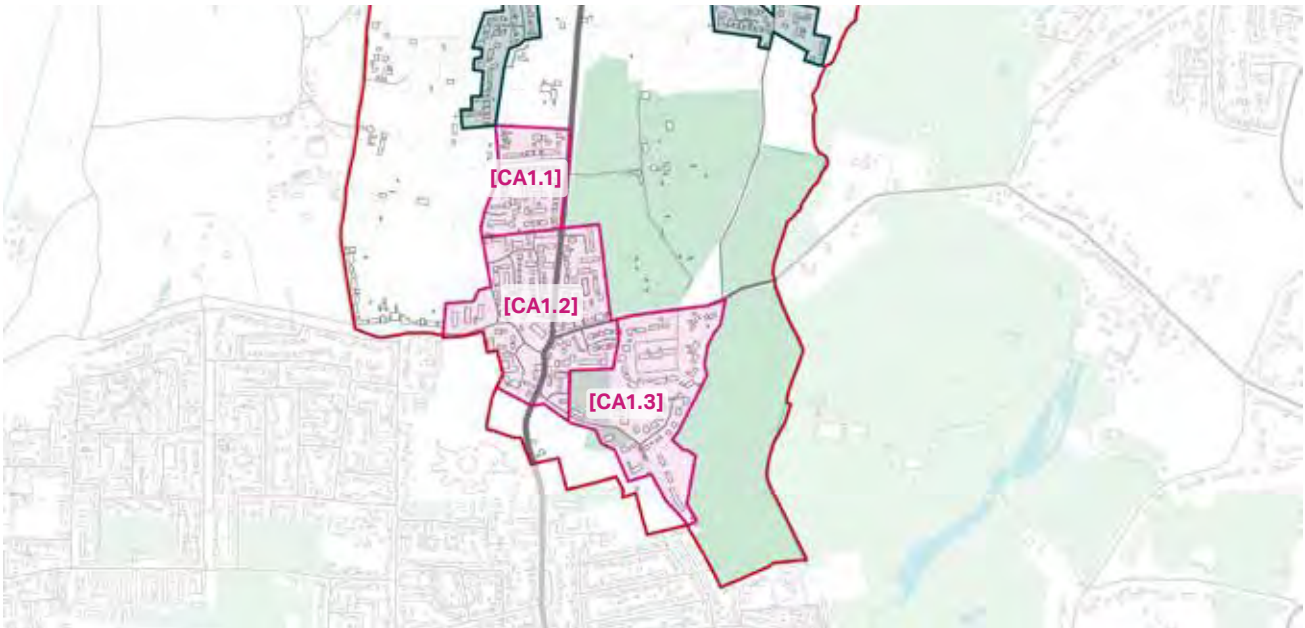
The area holds the parish church, the village hall, the Dukes head pub, a primary school, and the Farnham Royal cricket club. The residential areas are made up of largely detached and semi-detached, some terraced examples can also be found.



Figure 16: Examples of architectural styles within the Farnham Royal character area

Land Use	Historic centre of 'The Farnhams' with commercial, educational and services, together with outdoor recreation areas and residential.
Pattern of development	The settlement is predominantly made up of linear roads with rows of housing either side. There are some instances of cul-de-sac developments such as Home Meadow and Rosken Grove. There is a village green, Farnham Park, off Farnham Lane, where the Grade II listed Pump Shelter currently stands.
Building Line/Plot Arrangement	Residential buildings are typically well setback from the road, with substantial front gardens with driveways and garages. An exception of this is the recent development along Montague Close where the terraced houses have limited set-back with a small front garden and the apartments have no set back with only the kerb and hedge. Large detached houses can be found along the gated Stoke Park Avenue.
Boundary Treatment	The most common form of boundary treatment area Beech hedges, and low brick wall. Some examples of timber fences can also be seen. The boundary along Church Road is lined with tall hedgerows on either side, creating a sense of rural atmosphere.
Heights & Roofline	Buildings are typically 2 storeys in height with buildings such as the church being taller. The roofline is broken up by the pattern of detached houses, trees and other forms of vegetation also help give interest to the roofline.
Public Realm	Winding roads with footpaths on both sides. There is a good number of green verges, and where there is a limitation this is overcome by large lawned front gardens. The streets are sparsely lined with street lights and utility poles. Street litter bins are also provided where appropriate, such as near the primary school, Farnham Park.
Materials	Materials which are the most common are red brick. Some examples of render, flint, and coloured hung tile can also be found. Roofs are typically red or black clay peg tiles. Windows are typically coloured white which compliments the red brick, and flint walling materials.

Table 01: Characteristics of the Farnham Royal Character Area



CA1 Farnham Royal Character Area breakdown analysis. Character typologies from the South Bucks Townscape Character Study

CA1.1 Fairfield Lane Residential Area

- Residential area at the north of Farnham Royal consisting of individual detached houses set out along lanes, including Fairfield Lane, together with recent developments of apartments and houses which infill the centre of the block, and villas which line Beaconsfield Road;
- To the east, formal sports pitches provide a sense of openness at the settlement edge, whilst to the west, open fields with hedgerow field boundaries provide the landscape setting;
- Houses tend to have large back and smaller front gardens, which contain several mature deciduous trees;
- Parking occurs in front of the dwelling on private driveways or in parking courts at the front of the apartments.

CA1.2 Devonshire Green and Meadow Home Residential Area

- Situated towards the centre of the settlement, this predominantly residential area contains the intersection of roads running north-south and east-west through the area, around which the historic core was developed;
- Plots sizes and forms tend to be irregular, comprising varying forms of semi-detached and terraced houses from several different eras;
- Mature trees are a feature alongside Farnham Lane at the western edge of the area;
- Houses back onto Beaconsfield Road however hedges and deciduous trees soften the boundary;
- To the south, blocks of mature deciduous woodland provide a sense of enclosure;

- There is a variety of open space with small private gardens and large areas of amenity greenspace surrounding housing blocks. These areas consist of short mown grass with occasional trees;
- To the west, this area is situated in close proximity to settlement within Britwell (outside the District boundary).

CA1.3 Church Road Residential Area

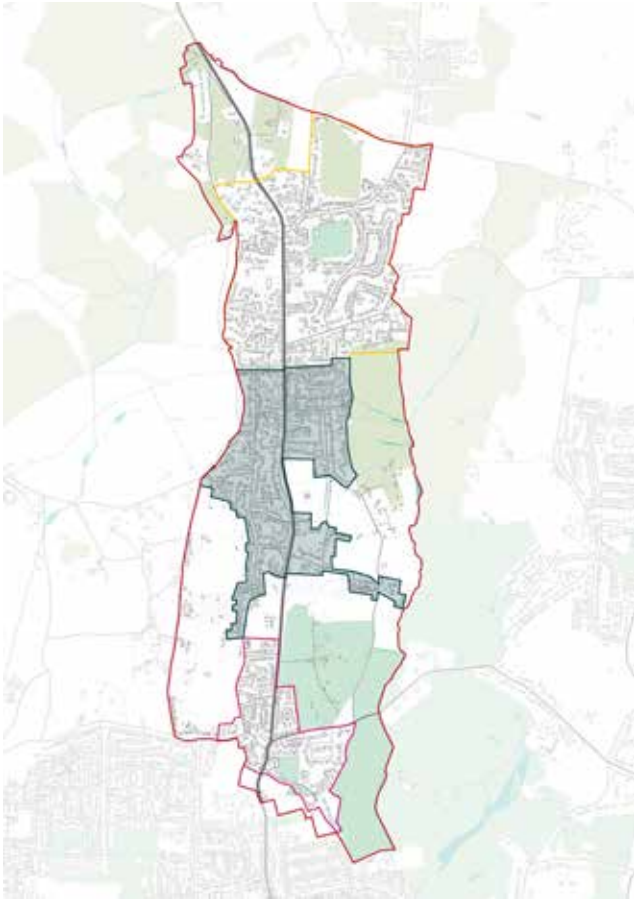
- This area comprises large detached, villa-style houses, set within large plots which often contain several mature deciduous trees;
- Houses have large private gardens to the front and rear of the property;
- Historic farm buildings and the church are key features;
- Boundary Copse, adjacent fields and the former orchard provide key open spaces to the southeast of the area;
- To the east, the golf course associated with Stoke Park House provides the landscape setting;
- To the south, this area is situated in close proximity to housing within Manor Park (outside the District);
- This area falls partly within the new Conservation Area (designated in 2010).

Special Townscape Qualities

The following key features are considered to be sensitive to change and are desirable to safeguard:

- The settlement pattern and layout of low density housing areas in the north and south of the settlement, which encompass a series of detached houses, often set within large garden plots;
- A couple of historic, listed buildings;
- The Conservation Area, which falls partly within Area 3;
- Survival of historic vernacular buildings, historic plan form and field patterns;
- The landscape associated with Stoke Park House (at the southeastern edge of the settlement), which is designated as a Conservation Area;
- Open spaces such as fields, sports grounds and school grounds which separate built up areas, particularly school grounds and sports grounds adjacent to Beaconsfield Road which create gaps between the built up areas;
- Mature deciduous trees which line Beaconsfield Road and Park Road creating a distinctive character;
- The distinct and separate identity of Farnham Royal, despite proximity to nearby Slough.

CA2 FARNHAM COMMON



The Farnham Common character area is located at the centre of the neighbourhood area. Situated to the east, Stoke Wood provides the landscape setting to the character area. The current Farnham Common village settlement replaced original wood-pasture.

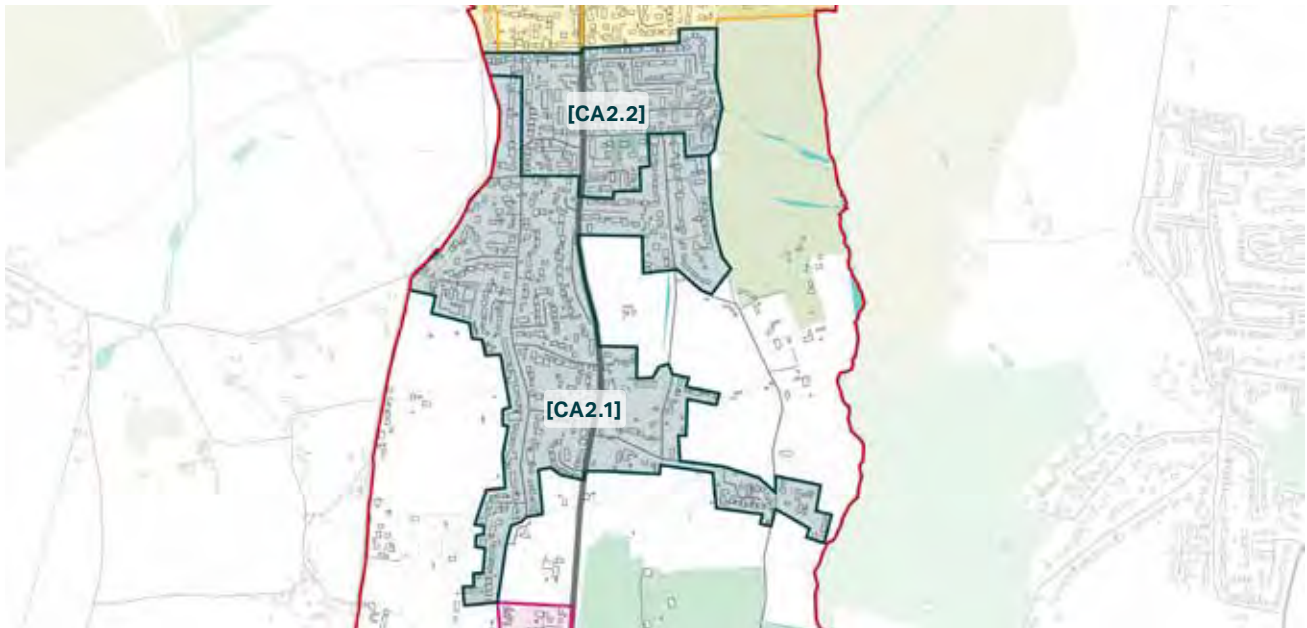
The area contains the village's commercial centre with amenities such as shops, small supermarkets, offices, restaurants, medical centre, and pubs. The residential areas are made up of largely detached, and semi-detached some terraced examples can also be found.



Figure 17: Examples of architectural styles within Farnham Common character area

Land Use	Commercial hub of 'The Farnhams' with retail uses, together with residential and some green open spaces.
Pattern of development	The settlement is predominantly made up of linear roads, such as Blackpond Lane and Beaconsfield Road, with rows of housing either side. There is a village green, off Kingsway, which acts as a landmark for Farnham Common.
Building Line/Plot Arrangement	Closer to the commercial hub, higher density houses can be found, while the further away from the core, lower density houses are more common. Residential buildings are typically setback from the road, with no formal building line.
Boundary Treatment	The most common form of boundary treatment area brick wall and hedges. Timber fences are also frequently used. Some examples of white picket fence can also be seen which is not typical of the area.
Heights & Roofline	Buildings are typically between 2 and 3 storeys in height. There are also examples of bungalows. The roofline is fairly consistent with the higher density development in the centre and more broken up by the pattern of detached houses.
Public Realm	Most of the streets are serviced by footpaths on both sides with grass verges. There are some sections of residential streets with a lack of footpaths, such as Blackpond Lane. The streets are sparsely lined with street lights and utility poles.
Materials	There is a mix of materials used including red brick, render, and flint. Examples of exposed timber framework can also be found. Roofs are typically red or black clay peg tiles. Windows are commonly white which compliments the red brick, and flint walling materials. Some of the newer builds use materials such as grey/black window frames, large floor-to-ceiling glass windows which is not typical of the area and should be not used as precedent. New developments such as Hill Place and Kemsley Chase use more typical materials which reflect the character of the parish, such as red brick, flint stone with quoins detailing around the edges and corners.

Table 02: Characteristics of the Farnham Common Character Area



CA2 Farnham Common Character Area breakdown analysis. Character typologies from the South Bucks Townscape Character Study

CA2.1 Green Lane and Blackpond Lane Residential Area

- Situated at the northwestern edge of the settlement, housing within this area encompasses several detached houses, with associated large front and back gardens, resulting in a low density settlement pattern;
- Mature deciduous trees are scattered amongst the urban fabric, softening the streetscape.

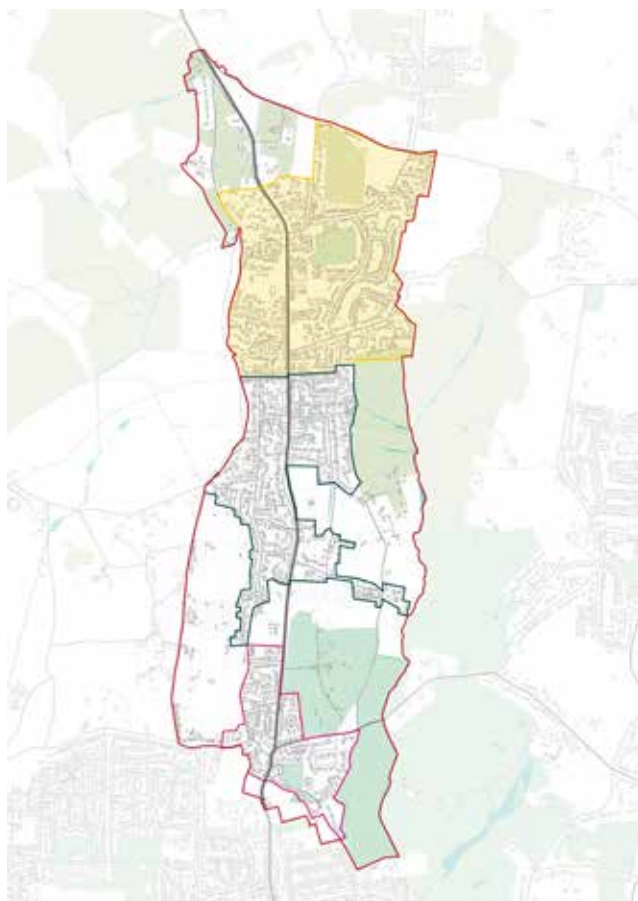
CA2.2 Beconsfield Road Residential Area

- A series of semi detached and terraced houses, often with long back gardens and small front gardens;
- Within the north, houses face the curvilinear arrangement of roads which encompass the area, including Mayflower Way, One Pin Lane and Beaconsfield Road;
- Within the northern part of this area, Farnham Common Infant School (with associated playing field) and a large sports ground (with formal sports pitches) provide key open spaces within this predominantly residential area;
- The back gardens of houses face onto this open space, with mature deciduous trees a feature of many of the plots;
- Further to the south, housing encompasses a series of high density semi-detached and terraced houses (dating from the 1970s) with small front and back gardens, set out in a grid street pattern along Rosewood Way, Frensham Walk, Langton's Meadow and Victoria Road;
- The southern part of this area also encompasses shops and commercial properties.



Figure 18: Commercial centre of Farnham Common, view from Beaconsfield Road (A355)

CA3 FARNHAM HEATH



The 'Farnham Heath' character area is located to the north of the neighbourhood area. Burnham Beeches, situated to the west and scattered woodlands provides the landscape setting to the character area.

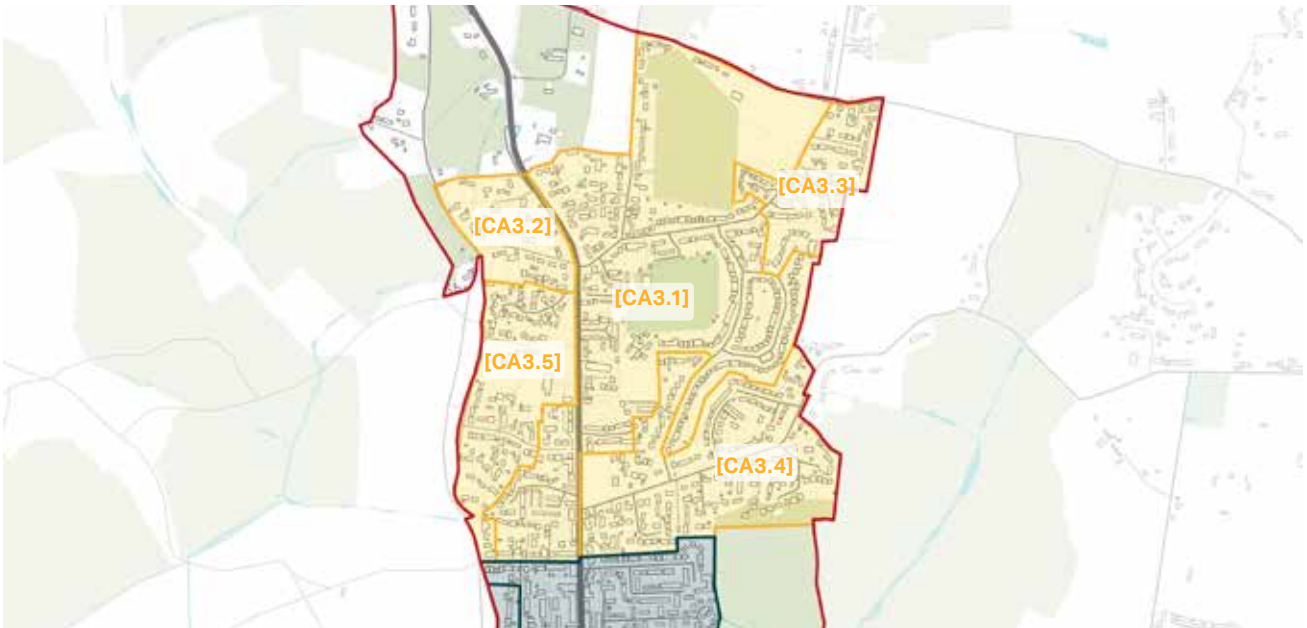
The area is mainly residential, with neighbourhoods focused on large detached housing. The Royal Oak pub, a junior & infant school, nursery, Farnham Common cricket club also sit within the character area.



Figure 19: Examples of architectural styles within the 'Farnham Heath' character area

Land Use	The 'Farnham Heath' character area is predominately made up of residential uses with some commercial uses of a pub, schools and outdoor playing fields.
Pattern of development	The settlement is made up of linear roads which branches out into a series of cul-de-sac developments such as Bracken Close and Ashenden Walk. Several detached houses with large front and back gardens has resulted in a low density settlement pattern. Mature woodland areas provide a sense of enclosure to settlement edges.
Building Line/Plot Arrangement	Buildings are typically detached, set within large garden plots, well setback from the road. They commonly have substantial front gardens with driveways and garages.
Boundary Treatment	Tall hedges are the most commonly used boundary treatment. The hedges are sometimes used in combination with brick columns and wooden entry gates. Examples of continuous tall brick walls or wrought iron gates can also be seen, which is out of character and should not set a precedent.
Heights & Roofline	Buildings are typically 2 storeys in height. The roofline is broken up by the low-density nature of the plots and detached houses, trees and other forms of vegetation also help give interest to the roofline. Noticeably, a number of houses have pv solar panels on the roofs.
Public Realm	Winding roads with footpaths and green verges, typically on one side and both sides on some lanes. The streets are sparsely lined with street lights and utility poles.
Materials	There is a wide mix of materials, the most common are red brick and hung tile. Some examples of render, and exposed timber framework can also be found. Roofs are typically red or black clay peg tiles. Windows are coloured white and sometimes in a natural brown which both compliment the walling materials.

Table 03: Characteristics of the 'Farnham Heath' Character Area



CA3 Farnham Heath Character Area breakdown analysis. Character typologies from the South Bucks Townscape Character Study

CA3.1 Beconsfield Road Residential Area

- A series of semi detached and terraced houses, often with long back gardens and small front gardens;
- Within the north, houses face the curvilinear arrangement of roads which encompass the area, including Mayflower Way, One Pin Lane and Beaconsfield Road;
- Within the northern part of this area, Farnham Common Infant School (with associated playing field) and a large sports ground (with formal sports pitches) provide key open spaces within this predominantly residential area;
- The back gardens of houses face onto this open space, with mature deciduous trees a feature of many of the plots;

- Further to the south, housing encompasses a series of high density semi-detached and terraced houses (dating from the 1970s) with small front and back gardens, set out in a grid street pattern along Rosewood Way, Frensham Walk, Langton's Meadow and Victoria Road;
- The southern part of this area also encompasses shops and commercial properties.

CA3.2 Collum Green Residential Area

- Situated at the northwestern edge of the settlement, housing within this area encompasses several detached houses, with associated large front and back gardens, resulting in a low density settlement pattern;
- Mature deciduous trees are scattered amongst the urban fabric, softening the streetscape.

CA3.3 Heatherside Gardens Residential Area

- This area encompasses predominantly detached houses, set with associated front and back gardens, arranged along a series of closes;
- At the eastern edge of the area, mature deciduous woodland provides a sense of enclosure;
- To the west, mature deciduous trees line the corridor of One Pin Lane;
- Predominantly suburban character.

CA3.4 Templewood Lane Residential Area

- Low density residential area situated towards the centre of the settlement, comprising detached houses, set within large garden plots;
- Mature deciduous trees are a key feature of gardens and also line some of the road corridors, resulting in a green and leafy character;
- Housing is set out along a series of closes, radiating from Templewood Lane;
- To the south and east of this area, mature deciduous woodland provides a sense of enclosure at the settlement edges.

CA3.5 The Avenue Residential Area

- Situated at the western edge of the settlement, this area encompasses a series of detached houses and apartment blocks set within large front and back gardens;

- Mature deciduous trees line plot boundaries and soften the streetscape;
- To the south and west, mature woodland provides a sense of enclosure at the settlement edge.

Special Townscape Qualities

The following key features are considered to be sensitive to change and are desirable to safeguard:

- The settlement pattern of low density housing, which encompass a series of detached and semi-detached houses, often with associated large garden plots;
- Areas of predominantly deciduous ancient woodland at the northern, eastern and western edges of the village, which provide a sense of enclosure and are key landscape features;
- Burnham Beeches is designated as a Special Area of Conservation and a Site of Special Scientific Interest at the western edge of the settlement, for its mature and developing woodland, old coppice, scrub and heath as well as numerous plants, birds and invertebrates. It is of international importance.

3.2 SWOT ANALYSIS

A SWOT analysis is set out in this section to summarise key findings informed by the context analysis and more detailed character area analysis. Inputs from local residents at the stakeholder workshop held by the Neighbourhood Plan Steering Group has also been taken into account.

These findings will help to shape the design codes and guidance in the following chapter.

Points of strengths and opportunities will be harnessed and further reinforced by the design codes and guidance. Whilst any weaknesses and potential threats identified will be targeted and mitigated against through suggestions of good urban design practices and principles.



Figure 20: Southmead Surgery, Medical centre. Red brick on ground floor, and upper floor rough-cast and timber framework.



Figure 21: Ashley House, The Broadway. Rough-cast with exposed timber framework.

STRENGTHS

- Landscape assets such as Burnham Beeches, woodlands, open green spaces, and wildlife;
- Farnham Royal's heritage setting offers itself as the historic core;
- Farnham Common's established retail hub with local businesses;
- The survival of two 'centres' adds to the village's unique character;
- Good number of schools retains the village's younger population.

WEAKNESS

- The retail hub at Farnham Common needs to be cared for, some buildings and the green by Kingsway are unmaintained;
- Historic core at Farnham Royal is not as activated as the retail hub;
- Some new builds are not in keeping with local architecture;
- Retrospective planning applications need scrutinisation;
- Lack of parking on high street, and wider areas of the parish.

OPPORTUNITY

- Wayfinding improvements to encourage active travel routes;
- Any brownfield sites can be used to accommodate more housing;
- Community encouraged through facilities such as outdoor gym;
- Promoting and protecting the landscape through sustainable, innovative ideas;
- Allocated sites can be helpful for identifying sites for affordable housing, supporting the need for housing mix.

THREATS

- New developments detracting from local architectural styles;
- Overuse of frontage infill housing development in low density areas;
- Backland development within gardens of large plots;
- Mass development to be reduced unless infrastructure is in place;
- Conservation area and listed buildings should be protected;
- Tree preservation orders, green belt extent should be observed.



DESIGN GUIDANCE
AND CODES

04

4. DESIGN GUIDANCE AND CODES

This section sets out the Design Guidance and Codes that support the Neighbourhood Plan. This design guide is in addition to, and should be read in conjunction with, national and local policy and guidance on design.

Development in the Neighbourhood Area should demonstrate how best practice design guidance contained in national and local policy and guidance documents, including this design guide, has been considered in the layout, architectural and landscape design.

4.1 INTRODUCTION

This section is divided into two parts. The first is a set of key elements to consider when assessing a design proposal. These are presented as general questions which should be addressed by developers and their design teams who should provide clarification and explanation as necessary.

The second part is the design guidance and codes, setting out the expectations that are specific to the context of The Farnhams. The Design Guidance and Codes apply to the whole Neighbourhood Area. In some instances, further guidance and codes are also provided for the character areas. The codes are divided into sections by theme, as shown on this page, each one with a different number of subsections.

- **LB:** Layout and Buildings
- **AM:** Access and Movement
- **LS:** Landscape Setting
- **SF:** Sustainable Futures

The guidance advocates for character-led design which responds to, and enhances the landscape and town's character. It is important that new development responds to local context and enhances the "sense of place" whilst meeting the aspirations of residents.

4.2 PART 1. GENERAL DESIGN CONSIDERATIONS

As an initial appraisal, there should be evidence that development proposals have considered and applied the following general design principles.

Built Form

- Development should respect surrounding buildings in terms of scale, height, form, and massing;
- Development should retain and incorporate important existing landscape and built-form features into the development which add richness;
- Buildings should front onto the streets and avoid having blank facades that hinder activity and movement;
- Buildings should overlook public spaces to ensure natural surveillance;
- Development should propose a combination of soft and hard boundary treatments in keeping of the character;
- Development should propose designs that creates different levels of enclosure along the streetscape to offer visual interest;
- Building lines and setbacks should match the surrounding context;
- Buildings located at corners and crossroads could play an important role in navigation, acting as landmarks. For that reason, the massing of those buildings could be slightly larger than the surroundings to help them stand out;
- Development should propose a mix of housing to include a range of house types and sizes to allow for a variety of options and bring balance to the population profile. This could be terraces, semi-detached, detached houses as well as flatted development;
- Infill development should compliment the street scene into which it will be inserted.

Access and movement

- Development should demonstrate synergy with, and be complimentary to, the existing settlement in terms of physical form, movement/access;
- Development should propose streets that filter traffic and speed. For that reason, a legible hierarchy should include primary, secondary, tertiary roads and edge lanes;
- Development should propose street design that meets the needs of all users; pedestrians, cyclists, and those with disabilities;
- Development should propose streets that incorporate opportunities for landscaping, green infrastructure, and sustainable drainage;
- Development should integrate with existing access; Public Rights of Way (PRoW), streets and circulation networks;
- Development should promote walking and cycling; and

- Development should aim to provide bus stops along primary roads where appropriate, to encourage the use of public transport.

Parking and utilities

- Parking should be well integrated in design and should not dominate the public realm;
- High-quality and well-designed soft landscaping, hedges, hedgerows and trees should be used to increase the visual attractiveness of parking and enhance the character of the Parish;
- Driveways must be constructed from permeable materials to minimise surface water run-off and help mitigate potential flooding;
- Appearance of dwellings and must not reduce the amount of active frontages to the street;
- Adequate provision should be made for cycle parking, on public and private land;
- Electric vehicle charging points, both for off-street and on-street parking, should be integrated into the design;
- Adequate provision should be made for bin storage, including areas for waste separation, holding and recycling;
- Lighting schemes should be in place to promote safe movements, whilst ensuring the protection of dark skies and biodiversity.



Figure 22: Clear signage and way-finding elements towards major landmarks or green open spaces facilitate movement



Figure 23: Detached house with garage, and driveway providing plenty of parking

Green infrastructure and landscape

- Development should provide adequate open space in terms of both quantity and quality;
- Development should avoid threatening existing ecological assets within the neighbourhood area;
- Development should protect existing green assets, of any form, whilst proposing new ones where appropriate;
- Development should identify existing biodiversity corridors and contribute to their preservation and enhancement;
- Development should propose adequate private/ communal amenity space to meet the needs of the population;
- Development should gain a good understanding of the landscape context and character of the Parish and propose a design that does not undermine the existing qualities of the area;
- Sustainable Urban Drainage Systems (SUDs) could be part of the overall landscape infrastructure and improve the environment;
- Development should protect all the existing habitats, green & blue features and integrate them into the design;
- Maximise opportunities for the restoration, enhancement and connection of natural habitats;
- Development should promote green links (cycle ways, footpaths, tree lined streets) into the new design to connect

with existing neighbourhoods within the Parish and surrounding settlements.

- Guidance on Trees and Hedges is set out in further detail by Buckinghamshire Council.¹

Views and Landmarks

- Development should relate sensitively to local heritage buildings, topography/ landscape features, countryside setting and long-distance views;
- Development should preserve long-distance views towards the open fields and countryside;
- Development should preserve key short-distance views towards important landmarks or heritage assets.

Character Setting

- The historical relationships between the settlements, churches, pubs, woodlands, mature trees and other facilities should be clearly defined;
- Development should avoid building into the skyline, in order to preserve the nature of Farnham Royal within the surrounding landscape;
- Protect the character of the Parish by protecting views to the surrounding countryside, and into the Parish. Views to points of interests should also be protected.

¹ <https://www.buckinghamshire.gov.uk/planning-and-building-control/building-or-improving-your-property/trees-and-hedges-guidance/>

4.3 PART 2. KEY DESIGN GUIDANCE

The design guidelines analysed in part 2 include all the key features that are of utmost importance for The Farnhams.

Theme	Prefix	Code
Layout and Buildings (LB)	LB01	Pattern of development
	LB02	Development affecting heritage assets
	LB03	Plot layout, building lines and boundary treatments
	LB04	Built character
	LB05	Materials and colour palette
	LB06	Extensions, conversions, and infill
	LB07	Housing mix
Access and Movement (AM)	AM01	Connectivity
	AM02	Parking typologies
Landscape Setting (LS)	LS01	Landscape setting
	LS02	Wildlife and biodiversity
	LS03	Development edges in the rural landscape
Sustainable Futures (SF)	SF01	Sustainable buildings
	SF02	Recycling materials and buildings
	SF03	Water management

Table 04: Application of Design Guidance and Codes to development

LAYOUT AND BUILDINGS (LB)

LB01 Patterns of development

The neighbourhood area comprises a mix of linear development with rows of housing either side, with some branching out into a series of cul-de-sac developments. The housing density varies throughout the village is mostly lower, with some higher density examples which can be found around the retail hub of Farnham Common. The following guidance should be considered when looking at the location and levels of development.

- *Central hubs within The Farnhams, such as the historic and retail centres, should encourage mixed-use development to add variety and aid active travel by clustering activities and services in close proximity, reducing car journeys;*
- *Linear pattern settlement almost always orientates inwards towards the main road and turns its back towards the landscape to the rear. Building frontages should consider this where possible;*
- *Any proposal that would give rise to an unacceptable increase in the amount of traffic, noise or disturbance would be inappropriate;*
- *Proposals should not be repetitive, and should provide a variety of building types and design with coherent scale, massing and detailing, should look to follow similar densities to context;*

- *New developments must provide off-street parking to align with local policy requirements. Please refer to the Parking Guidance set out by the Buckinghamshire County Council¹.*

1 <https://www.buckinghamshire.gov.uk/planning-and-building-control/planning-policy/parking-guidance-for-new-developments/>

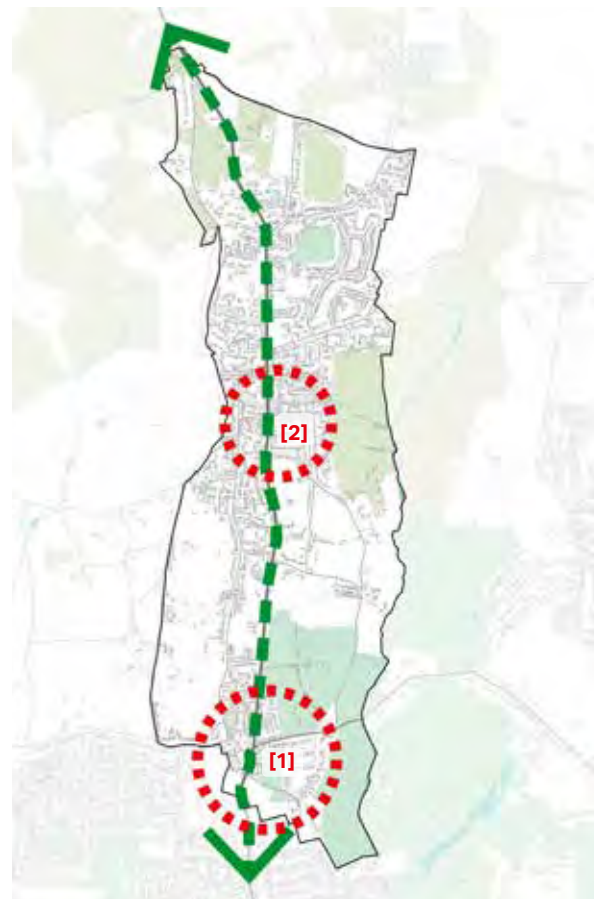


Figure 24: 'The Farnhams' pattern of development with two 'centres'. [1] Farnham Royal (historic core) and [2] Farnham Common (retail hub).

LB02 Development affecting heritage assets

There are a number of features of historic significance in The Farnhams which make a positive contribution to the character of the area. In particular, the Grade II listed buildings which are found across the parish, but especially with the conservation area towards the south of the parish. These designated heritage assets are protected and any proposed development should be sympathetic to the design and historical significance.

- *New development will need to respect and respond to the historical context, particularly within the Conservation Areas;*
- *Development should respect the significance of any designated and non-designated heritage asset;*
- *New development should retain the existing open spaces, vegetation and trees to preserve the historic form and pattern of development in the parish;*
- *New development should propose architectural details and materials that reflect the surrounding heritage assets, to preserve and respect the strong local vernacular. More details on the local vernacular and materials are analysed in LB05.*



Figure 25: Cherrytree Cottage, Beaconsfield Road.



Figure 26: Hillside Cottages, Beaconsfield Road (Grade II listed)

LB03 Plot layout, building lines and boundary treatments

As analysed in Section 3 there are variations in plot layout, building line and boundary treatments within the different character areas of The Farnhams. Thus, any new development should suggest design that matches the existing patterns of surrounding context and some design guidelines are:

- *Vary plot widths to allow for a mix of housing types along the street. A mix of housing encourages a diverse community and creates visual interest;*
- *Orientate buildings generally parallel to and overlooking the street and public space;*
- *Establish a consistent building line, with subtle variations for visual interest. Infill development should be consistent with the existing average building lines;*
- *Maintain gaps between buildings for areas of landscaping and view to the rural landscape;*
- *Tall imposing boundary treatments should be avoided. Instead, low brick walls with tall hedges should be considered for privacy;*
- *Existing hedges, hedgerows and trees should be integrated into design, whilst more planting and vegetation is encouraged to form part of the green network strategy;*
- *Backland development patterns should be avoided where possible in any new development. Buildings should front onto streets and should be designed to ensure streets and public spaces have good levels of natural surveillance.*

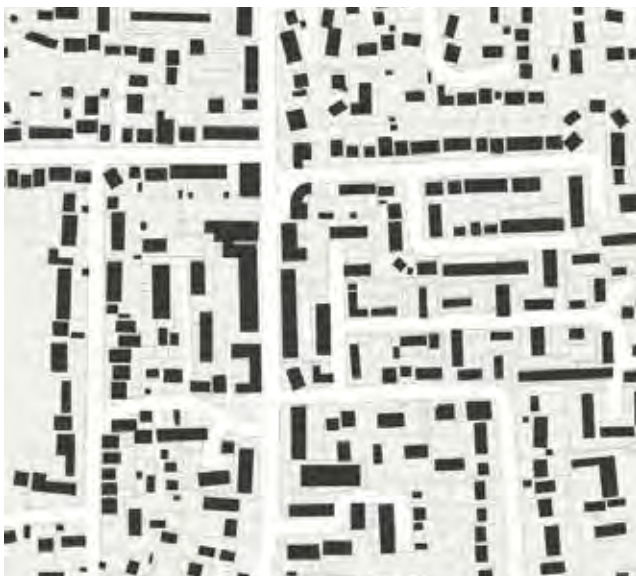


Figure 27: Plot and building layout in Farnham Common showing higher density within the plot layout, with areas of continuous building lines, relatively consistent plot layout and set backs.



Figure 28: Plot and building layout in Farnham Royal showing lower density within the plot layout, with areas of continuous building lines, and some differing set backs.

LB04 Built character

Development, whether traditional or contemporary, should be rooted in The Farnhams's historical architectural character. Development proposals should provide specification on the building scale, massing and roofscape, as well as the detailed architectural design, including materials, fenestration and detailing. Proposals should also demonstrate how the setting of the local context has been considered. The following section sets out design guidance on this.

Scale and Roofscape

Creating variety and interest in the roofscape and scale of properties is an important element in the design of attractive buildings and places. Rooflines in The Farnhams are varied, and front gable roofs are more commonly featured. There are also some small clusters of consistent roofline,

especially around Devonshire Green. Roof materials and detailing features are also varied, and include red and black clay tile, and black slate. The uniform building height and roof elements make an important contribution to defining the character of The Farnhams. The proportion of a building's elements should be related to each other as well as the scale and proportion of the buildings.

- *Ensure the height of development responds to the surrounding buildings, street width and sense of enclosure, topography and mature vegetation;*
- *Consider how the roof design integrates with the surrounding development or creates a new roofscape;*
- *Design the scale and pitch of the roof to be in proportion with the dimensions of the building, and avoid overly complex designs.*



Figure 29: Positive example of front gable roofs, featuring dormer window and chimney which adds interest to the roofscape.



Figure 30: Negative example of hipped roofs. The set of hipped roofs placed uniformly in a row, adding an out-of-proportion feel to the roof and lacks interest in the roofscape.

Fenestration and Detailing

The intricacies of the architectural features and detailing in The Farnhams are locally distinctive and define the unique built character. The range of features and detailing include sash and casements windows, white framed windows, tile hanging, dormers and some exposed timber framework. These elements provide visual interest and reduce the scale and bulk of the buildings. The use of architectural features and detailing is of particular importance given the generic architectural material palette and lack of details used in newer developments in some areas of the Neighbourhood Area and the wider South Bucks area. The following guiding principles should be considered for developments to achieve locally distinctive design.

- *Include locally distinctive fenestration and detailing in new development, drawing on examples in the Farnham Royal Conservation Area and listed buildings within other settlements;*
- *Avoid mixing historic styles into the one development, for example neo-Grecian columns and canopy on a modern home;*

- *It is better to have all modern or all traditional features on the same building than have a mix of two;*
- *Traditional features would normally follow the fenestration, materials scale, mass etc of the existing/ historic context. Modern could be something completely new to the context but would reference the existing context in an innovative and well designed way such as some materials, size of window openings, gable end detailing or roofscape. It would not for example be a building which is designed from the inside out, for example it must have 5 bedrooms and how it looks outside is secondary.*
- *Development involving multiple houses should ensure a variety of detailing is utilised across the development to provide visual interest along the street and avoid homogeneous building designs;*
- *Include detailing on roofs and facades to minimise the bulk and scale of buildings, for example ornate brickwork around fenestration and across walls.*



Figure 31: Positive example of use of fenestration and detailing within a new development. The mixed use of materiality (red brick, render, flint), variation in the building lines, quoins detailing, gabled front door canopy create a locally distinctive design.



Figure 32: Generic building style within a new development. The lack of fenestration and detailing creates a non-specific feel.

LB05 Materials and colour palette

There are a range of materials used within The Farnhams. However, the historical palette is fairly restrained, with strong roots in the typical architectural vernacular. Common wall materials are mainly red brick, render, and flint stone. Fenestration is generally timber painted in white or upvc window trim. The following guidelines should be considered when deciding on the materials and colour palette of any new development.

- *The choice of colour and finish of materials is an important design factor in reducing the impact of the buildings on the surrounding landscape and in continuing to maintain the consistent built vernacular;*

- *The use of traditional, natural and preferably locally sourced materials is generally more appropriate than man-made synthetic, pre-coloured materials, as they lack the variation on colour and texture found in natural materials;*
- *Generally large areas of intense strong colours do not blend well with the landscape setting;*
- *Use of materials on roofs that encourage moss growth is favoured and any chemical treatment to remove moss growth should be discouraged.*



Figure 33: Positive example of use of materials and colour palette



Figure 34: Negative example of use of materials and colour palette

Wall Materials



Red brick



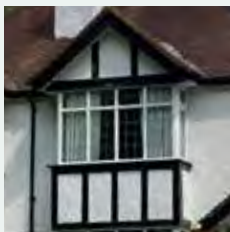
Render



Flint Stone



Tile Hanging

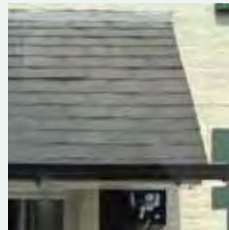


Timber Framework

Roof Materials



Red peg tiles



Black peg tiles



Hedge



Low Brick Wall



Brick with Hedge

Boundary Treatment

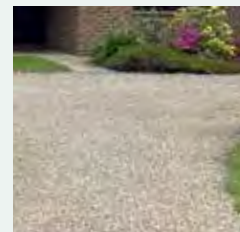
Ground Surface



Granite Setts

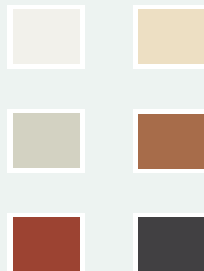


Paving blocks



Permeable Gravel

Colour Palette



LB06 Extensions, conversions, and infill

Extensions

There are a number of principles that residential extensions and conversions should follow to maintain character. It should be noted that many household extensions are covered by permitted development rights, and so do not need planning permission. These rights do not apply in certain areas such as Conservation Areas.

- *The original building should remain the dominant element of the property regardless of the scale or number of extensions. The newly built extension should not overwhelm the building from any given viewpoint;*
 - *Extensions should not result in a significant loss to the private amenity area of the dwelling or its neighbours;*
 - *Designs that wrap around the existing building and involve overly complicated roof forms should be avoided;*
 - *The pitch and form of the roof used on the building adds to its character and extensions should respond to the existing building where appropriate;*
 - *Extensions should consider the materials, architectural features, window sizes and proportions of the existing building and respect these elements to design an extension that matches and complements the existing building;*
- *In the case of side extensions, the new part should be set back from the front of the main building and retain the proportions of the original building. This is in order to reduce any visual impact of the join between existing and new;*
 - *In the case of rear extensions, the new part should not have a harmful effect on neighbouring properties in terms of overshadowing, overlooking or privacy issues;*

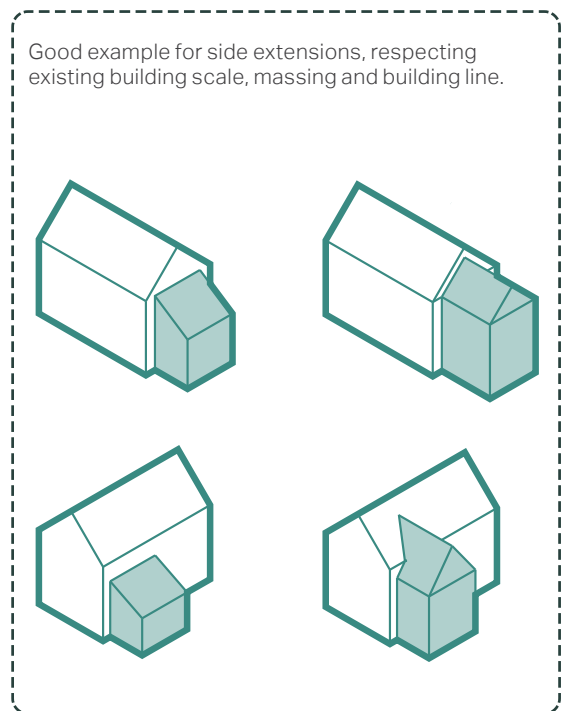


Figure 35: Some examples for different type of building extensions

- Any housing conversions should respect and preserve the building's original form and character;
- Where possible, reuse as much of the original materials as possible, or alternatively, use like-for-like materials. Any new materials should be sustainable and be used on less prominent building parts.

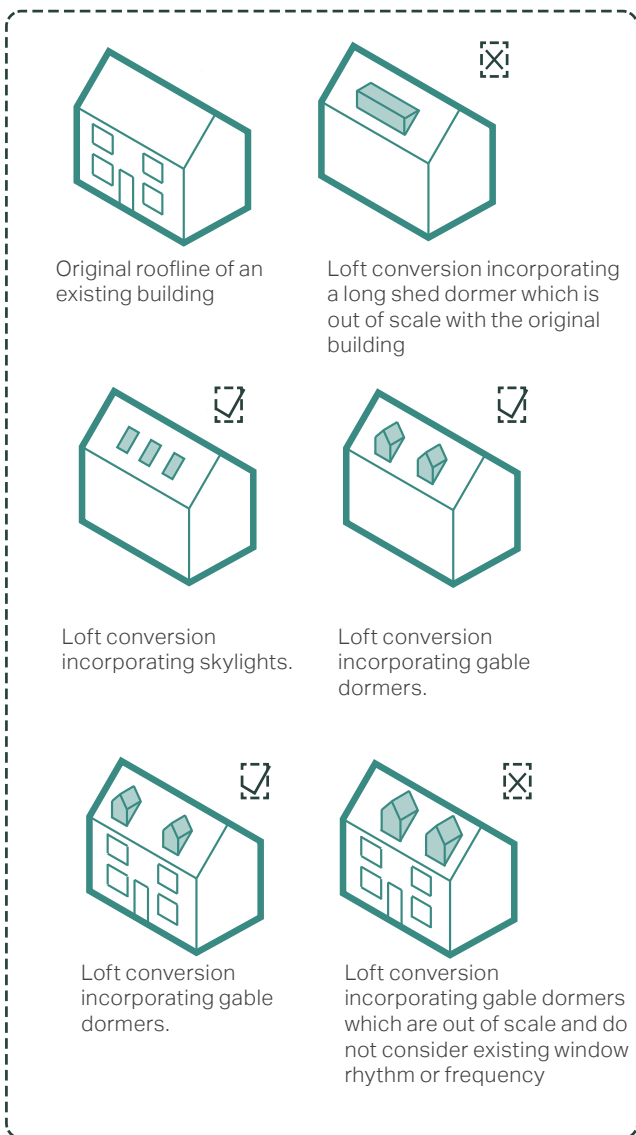


Figure 36: Design treatment in case of loft conversion.



Figure 37: Poor use of infill opportunity, and out of character design



Figure 38: Negative example of ground surfacing, overuse of brick paver. Permeable paving materials and surfacing are preferred and should be used.

Conversions

As previously described, The Farnhams has a rich history and features a number of historic buildings. Any conversions should consider the following.

- Features and general layout of the site setting that signify the historic working of the building/s should be retained. For instance, loose courtyard arrangements of buildings, physical boundary treatments, openings or wagon doors.
- New openings should generally be avoided and kept to a minimum when necessary. Agricultural sites should remain open and not be divided by fences or walls;
- The use of domestic add-ons such as chimneys, porches, satellite dishes, domestic external lighting and hanging baskets should be avoided;
- Boundary treatment should reflect the existing materials of the building and be sympathetic to the surroundings, for example beech hedges;
- Features such as dormer windows may be possible but they should be appropriate to the context and well designed. If rooflights are used, they should be sited discreetly so as to not become over dominant in the landscape;
- Courtyards, streets and footpaths should be surfaced in a material that reflects its rural setting and the original building materials;
- Parking spaces within residential plots should not be formally marked out;
- Boundary brick walls should be left intact, and not chopped through or reduced for access or to create visual splays.

Modern Interpretations



Figure 39: Positive example using modern but sympathetic material palette



Figure 40: Negative example using unsympathetic material palette, out of proportion windows

Infill

Infill sites will vary in scale, context and location within any given settlement. An infill can have significant impact on the character and appearance of the built environment. The following principles should be applied in any future infill site.

- *Infill development should complement the street scene into which it will be inserted. Points of continuity in the streetscape can be created by material, colour palette, roofscape features (such as chimneys and ridge/eave heights), scale and massing;*
- *The above elements also need to be considered in relation to topography, views, vistas and landmarks. In particular, important views should not be blocked by any new development;*
- *The building line of new development should generally be in keeping with the existing. Building set backs should provide some defensible space and should not front straight onto the pavement edge. Very often, with terraced or dense groupings, the building line will be exactly the same, but it might be acceptable that it closely aligns with the existing arrangement of buildings where there is an irregular, meandering building line;*
- *The density of any new infill development should reflect its context and its location in the village (centre or edge), or in a smaller settlement nestled in a wider landscape. The optimum density will respond to surrounding densities whilst making efficient use of land.*

A potential site for infill. The future infill property should complement the street scene.

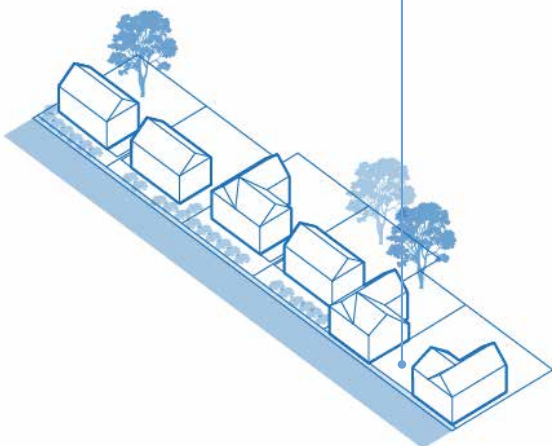


Figure 41: An indicative site before infill.

New properties should generally be consistent with existing building line patterns. Building lines should be set back from the road.

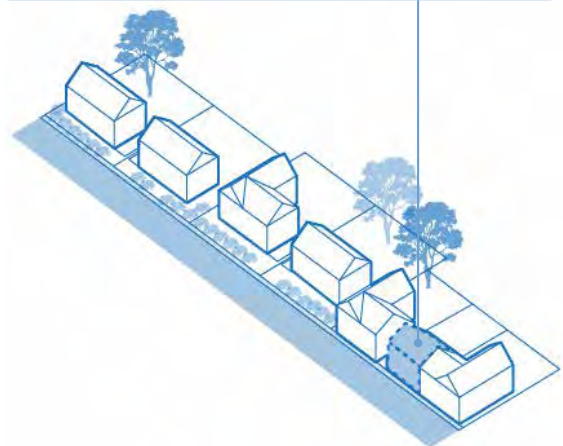


Figure 42: An indicative site after infill.

LB07 Housing mix

Providing a good housing mix within The Farnhams is crucial for meeting the needs of different groups within the community.

- *Any new development should enrich the supply of housing by providing a variety of options in terms of size and height, whilst still respecting the existing surroundings;*
- *Development that accommodates first time homes and homes for downsizing with their own front doors and outdoor green space are encouraged in order to improve the balance in the population of The Farnhams.*



Figure 43: Positive example of introducing housing mix using terraced houses for first time buyers and as houses for downsizing



Figure 44: Housing mix could also be introduced through more recent interpretation of the terrace typology

ACCESS AND MOVEMENT (AM)

AM01 Connectivity

Connectivity within the neighbourhood area and to the surrounding countryside is vital so that the local residents do not have to rely on private transportation. It is vital that the settlement core is well-integrated and connected. Public transport and other sustainable transport methods such as walking and cycling are encouraged.

- *New footpath links should be provided wherever possible, and these must connect up with the existing walking network, placing the priority on the pedestrian, thereby encouraging people to favour active travel over the car;*
- *The design of the street network should respond to the topography and natural desire lines;*
- *Streets and footpaths should be laid out in a permeable pattern, allowing for multiple connections and choice of routes, particularly on foot. Any cul-de-sac should be relatively short and provide onward pedestrian links;*
- *Development should design internal streets and paths that are well connected and direct, responding to any desire lines.*



Figure 45: A connected layout, with some cul-de-sacs, balances sustainability and security aims in a walkable neighbourhood

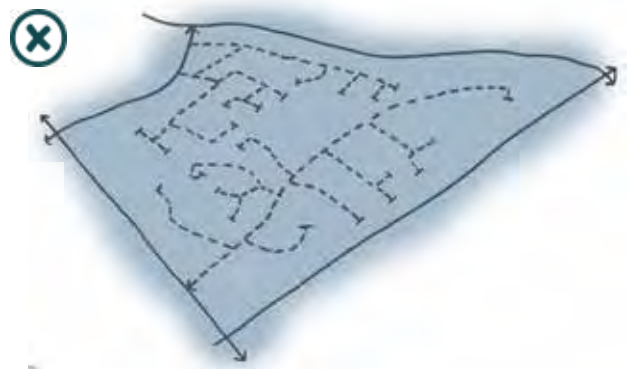


Figure 46: A layout dominated by cul-de-sacs encourages reliance on the car for even local journeys

AM02 Parking typologies

Parking areas are a necessity of modern development. However, they should avoid dominating views towards the development, and instead parking provision should be undertaken as an exercise of placemaking. Any parking provided should apply the 'Parking guidance for new developments' standards provided by the Bucks Council.¹

On-plot parking

- *On-plot parking can be located to the front or the side of the main building;*
- *Detached garages must not be constructed in front of the principle building line;*
- *Parking can be covered by a car port if it is located to the side of the building in line with or setback from the building line;*
- *High-quality and well-designed soft landscaping should be used to increase the visual attractiveness of the parking;*
- *Boundary treatments such as hedges, trees, flowerbeds and low walls also increase attractiveness and provide a clear distinction between public and private space;*
- *Hard standing and driveways must be constructed from permeable materials to minimise surface water run-off.*



Figure 47: Positive example of on-plot parking with garage on the side of the building, aligned with the principle building line, with permeable driveway ground surfacing.



Figure 48: Negative example of on-plot parking with attached garage at the side of the building, dominating the principle building line, with impermeable driveway ground surfacing.

¹ <https://www.buckinghamshire.gov.uk/planning-and-building-control/planning-policy/parking-guidance-for-new-developments/the-standards/>

Parking courtyards

- *This parking arrangement can be appropriate for a wide range of land uses. It is especially suitable for terraces fronting busier roads where it is impossible to provide direct access to individual parking spaces*
- *Parking bays must be arranged into clusters with groups of 4 spaces as a maximum, and no more.*
- *Ideally all parking courts should benefit from natural surveillance*
- *Parking courts should complement the public realm through the use of high-quality design and materials, both for hard and soft landscaping elements;*
- *Parking clusters should be interspersed with trees and soft landscaping to provide shade, visual interest and to reduce both heat island effects and impermeable surface areas.*

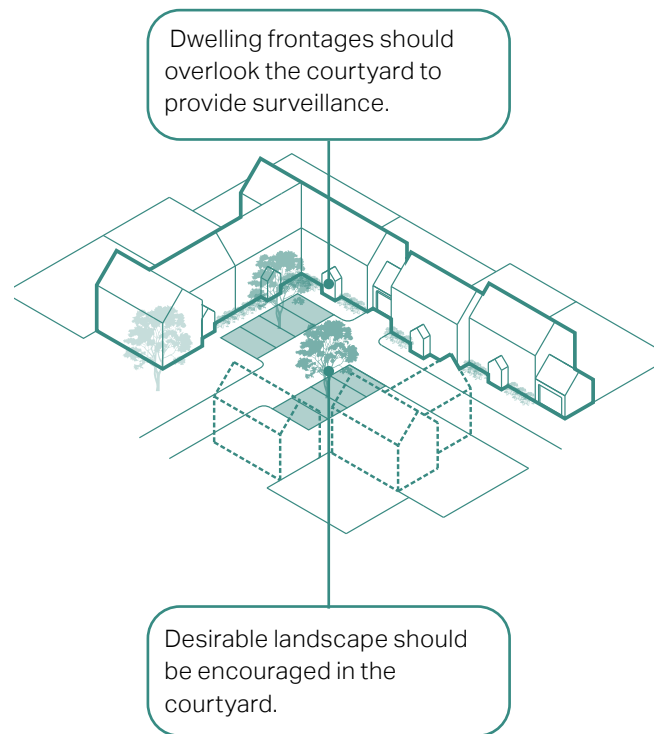


Figure 50: Illustrative diagram showing an indicative layout of parking courtyards

On-street parking

- *A parallel car parking space should be 2.5m x 6m long. There must not be more than 6 spaces in a row without a break;*
- *Street parking should be provided through recessed parking bays;*
- *Any on-street parking which may hinder pedestrian and car movement should be avoided;*
- *Landscape elements can be used to mitigate potential negative impacts on the streetscene by the use of recessed parking bays with planting in between.*



Figure 49: Example of on-street parking with planting used to break up parking bays, St Andrews, Bromley-by-Bow.

LANDSCAPE SETTING (LS)

LS01 Green infrastructure

The abundance of green spaces and landscape features is one of the parish's greatest assets. Not only do they provide environmental and well-being benefits, they add life to the landscape and help shape and add character to open spaces. There are several green spaces which need to be protected such as the multiple areas of ancient woodland, village greens, playing fields and numerous pieces green spaces. The following guidelines focuses on the design aspects and landscape setting which should be considered.

- *Preserve existing vegetation, native mature trees, and hedgerows by incorporating them into the new landscape design and using them as landmarks, where appropriate;*
- *The neighbourhood area is wooded with a number of woodlands, small copses, hedges, hedgerow and field trees and trees in gardens and villages. Any future development should preserve this characteristic;*
- *Consider canopy size when locating trees; reducing the overall number of trees but increasing the size of trees is likely to have the greatest positive long-term impact;*
- *New trees should be integrated into the design of new developments from the outset, especially within back gardens to help even 'leafy' suburban housing estates to mellow and blend into the landscape.*

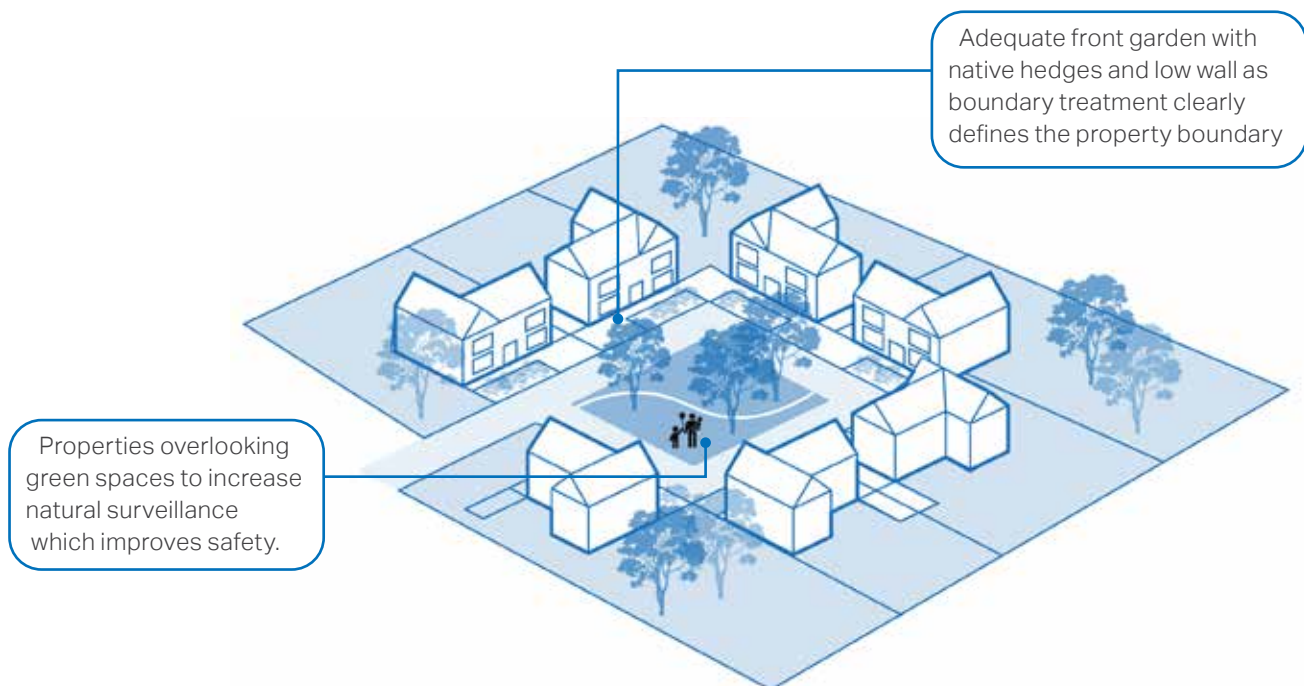
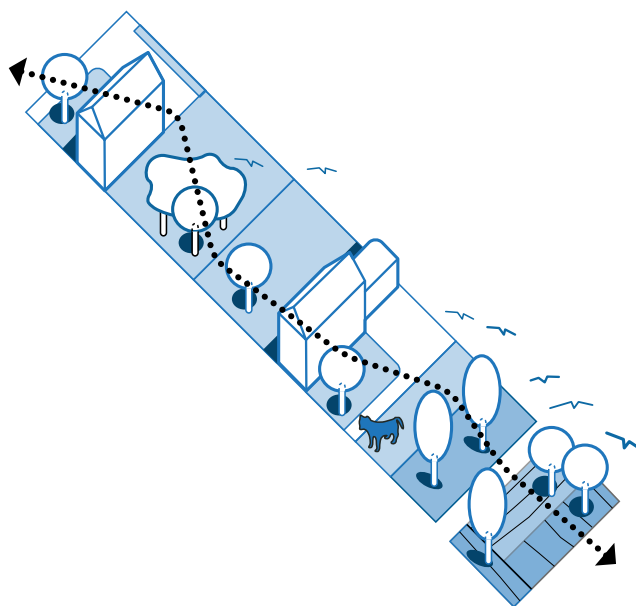


Figure 51: Diagram showing access to high-quality spaces for social interaction and interaction with nature

LS02 Wildlife and biodiversity

The neighbourhood area provides an abundance of woodlands, green spaces, trees and gardens to provide habitats for biodiversity. The surrounding countryside offers plentiful opportunity for wildlife and biodiversity to thrive. Future developments should seek to protect and enhance the natural environment surrounding The Farnhams by considering the following guidance.

- *Natural assets such as ancient woodlands, designated sites, mature trees, and protected species must be protected and enhanced where possible;*
- *Development should create an interconnected ecological network that encompasses everything from doorstep spaces and private gardens to the surrounding countryside;*
- *Priority habitats and priority species should also be considered within the design process;*
- *Any trees or woodland lost to new development must be replaced. There should be a non-negative impact on biodiversity from a new development and a biodiversity net gain of 10% should be aimed for;¹*
- *Preserve existing vegetation, native mature trees, and hedgerows by incorporating them into the new landscape design and using them as landmarks, where appropriate;*
- *Create 'pockets for nature' through trees, shrubs, wildflower meadows, and small ponds;*
- *Consider how the layout can create wildlife corridors. For example, the layout of roads, front and back gardens, and green spaces;*
- *Incorporate wildlife friendly features that support movement and habitat. At least one bat box or swift brick to be installed in each new dwelling;*
- *Bee bricks and bug hotels could also be installed to enhance biodiversity and wildlife;*
- *New street trees should be provided wherever possible. Trees and hedgerows should be incorporated into public realm and other open spaces as well as private development where appropriate.*



¹ <https://www.local.gov.uk/pas/topics/environment/biodiversity-net-gain-local-authorities>

Figure 52: Diagram demonstrating how connected front and back gardens can enhance ecological connectivity for wildlife.

LS03 Development edges in the rural landscape

Despite The Farnhams's proximity to London, it has managed to retain much of its landscape setting with rich vegetation including woodlands, hedges, hedgerows, tree-lined and grass verge-lined streets, farms and open fields.

Ecological assets, such as Burnham Beeches (Figure 53) are much valued within the community and, thus should not be undermined by any new development. Any development at the edge of the rural landscape, near nature assets and farmland (Figure 54) should ensure that the landscape setting is respected. In particular, any new development set on the edges of the neighbourhood area or next to existing woodlands needs to respect the existing nature and enhance it.

Any new development should consider the following guidelines when considering the treatment of rural development edges.

- *New development should conserve existing native trees and shrubs and incorporate any green/ecological asset within design, whilst any unnecessary loss of flora should be avoided;*
- *Abrupt edges with little vegetation or landscape on the edge of the development should be avoided;*
- *Rich vegetation including native trees and hedgerows should be in place to provide a smooth transition from the built-up areas to the rural landscape;*
- *Edges must be designed to link rather than segregate existing and new neighbourhoods;*
- *Green corridors should be proposed to provide additional pedestrian and cycle links that will improve connectivity between neighbourhoods and contribute to the successful integration of any new development within the parish;*



Figure 53: Burnham Beeches Nature Reserve. View from Hawthorn Lane looking towards Bedford Drive.



Figure 54: Old Oak Farm, Parsonage Ln.

SUSTAINABLE FUTURES (SF)

SF01 Sustainable buildings

Energy efficient or eco design combines all-round energy efficient construction, appliances, and lighting with commercially available renewable energy systems, such as solar water heating and solar electricity.

Starting from the design stage, there are strategies that can be incorporated towards passive solar heating, cooling and energy efficient landscaping which are determined by local climate and site conditions. The retrofit of existing buildings with eco design solutions should also be encouraged.

The aim of these interventions is to reduce overall home energy use as cost effectively as the circumstances permit. The final step towards a high-performance building would consist of other on site measures towards renewable energy systems.

It must be noted that eco design principles do not prescribe a particular architectural style and can be adapted to fit a wide variety of built characters.

Implementing eco-design into homes

The guidelines and suggestions illustrated overleaf (**Figure. 55**) focuses on improving the energy efficiency of properties through the implementation of eco-design principles. *By default, new development should adopt a fabric first approach in line with the governments emerging Future Homes Standard, to attain higher standards of insulation and energy conservation;*

- *Thermal insulation can be provided for any wall or roof on the exterior of a building to prevent heat loss. Particular attention should be paid to heat bridges around corners and openings at the design stage;*
- *Consider the thermal mass of building materials to even out variations in internal and external conditions, absorbing heat as temperatures rise and releasing it as they fall. This can be beneficial during the summer and winter;*
- *Provide acoustic insulation to prevent the transmission of sound between active (i.e. living room) and passive spaces (i.e. bedroom), and attached dwellings.*



Figure 55: Sustainable design features

Existing homes

- | | | |
|--|---|---|
| <p>1  Insulation
in lofts and walls (cavity and solid)</p> <p>2  Double or triple glazing with shading
(e.g. tinted window film, blinds, curtains and trees outside)</p> <p>3  Low-carbon heating
with heat pumps or connections to district heat network</p> | <p>4  Draught proofing
of floors, windows and doors</p> <p>5  Highly energy-efficient appliances
(e.g. A++ and A+++ rating)</p> <p>6  Highly water-efficient devices
with low-flow showers and taps, insulated tanks and hot water thermostats</p> | <p>7  Green space (e.g. gardens and trees)
to help reduce the risks and impacts of flooding and overheating</p> <p>8  Flood resilience and resistance
with removable air back covers, relocated appliances (e.g. installing washing machines upstairs), treated wooden floors</p> |
|--|---|---|

Additional features for new build homes

- | | | |
|---|---|--|
| <p>A  High levels of airtightness</p> <p>B  Triple glazed windows and external shading
especially on south and west faces</p> <p>C  Low-carbon heating and no new homes on the gas grid by 2025 at the latest</p> <p>D  More fresh air
with mechanical ventilation and heat recovery, and passive cooling</p> | <p>E  Water management and cooling
more ambitious water efficiency standards, green roofs, rainwater harvesting and reflective walls</p> <p>F  Flood resilience and resistance
e.g. raised electrical, concrete floors and greening your garden</p> | <p>G  Construction and site planning
timber frames, sustainable transport options (such as cycling)</p> <p>H  Solar panel</p> <p>I  Electric car charging point</p> |
|---|---|--|

SF02 Recycling materials and buildings

To meet the government's target of being carbon neutral by 2050, it is important to recycle and reuse materials and buildings. Any new development should consider the following to meet the targets.

- *Reusing buildings, parts of buildings or elements of buildings such as bricks, tiles, slates or large timbers all help achieve a more sustainable approach to design and construction;*
- *Recycling and reuse of materials can help to minimise the extraction of raw materials and the use of energy in the production and transportation of materials;*
- *Development should also maximise the re-use of existing buildings (which often supports social, environmental and economic objectives as well.*

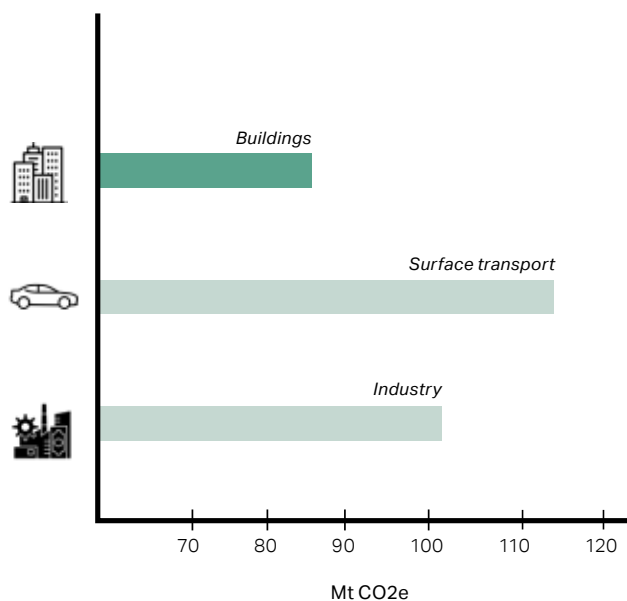


Figure 56: Diagram illustrates that buildings are the UK's third biggest source of greenhouse gases.¹

¹ <https://historicengland.org.uk/whats-new/news/recycle-buildings-tackle-climate-change>

SF03 Water management

The principles set out in national and local planning guidance require development across the Neighbourhood Area, not only in flood risk areas, to respond to climate change and flooding.

A key method is with the use of sustainable urban drainage systems (SuDS). SuDS are a range of approaches to manage surface water in a sustainable way to reduce flood risk and improve water quality and the overall urban environment. They work by reducing the amount and rate at which surface water reaches a waterway or combined sewer system. SuDS must be considered early in the design process to ensure they are sensitively designed and augment the landscape.

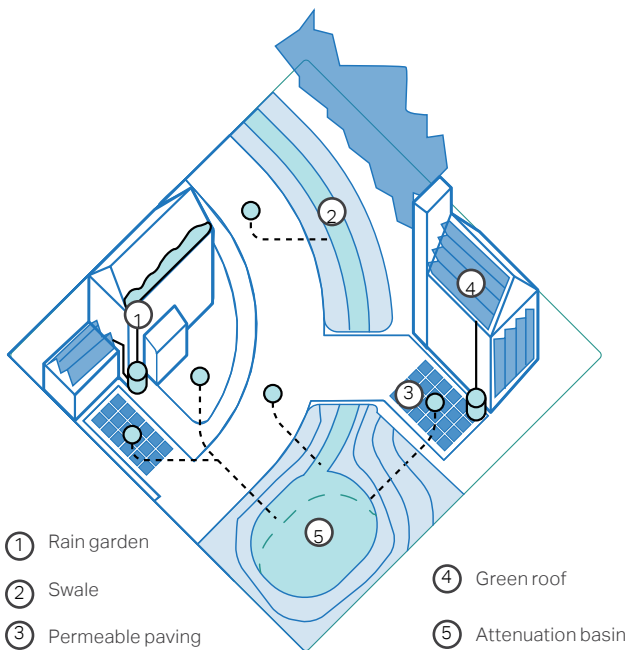


Figure 57: Diagram showing the best use of harvesting water systems rain garden, swales, permeable paving, green roofs

The use of permeable paving is not only a valid response to mitigating flood, but also has ecological benefits. Most built-up areas, including roads and driveways, increase impervious surfaces and reduce the capacity of the ground to absorb runoff water. This in turn increases the risks of surface water flooding. Permeable paving offers a solution to maintain soil permeability while performing the function of conventional paving.

- *SuDS should be designed sensitively to augment the landscape and provide biodiversity and amenity benefits;*
- *Reduce runoff rates by facilitating infiltration into the ground or by providing attenuation that stores water to help slow its flow so that it does not overwhelm water courses or the sewer network;*
- *Improve water quality by filtering pollutants to help avoid environmental contamination. Some of the most effective SuDS are vegetated, using natural processes to slow and clean the water whilst increasing the biodiversity value of the area;*
- *Permeable paving can be used where appropriate on footpaths, private access roads, driveways, car parking spaces (including on-street parking) and private areas within the individual development boundaries.*



CHECKLIST

05



5. CHECKLIST

As the design Guidelines and Codes in this section cannot cover all development scenarios, this concluding section provides a number of questions based on established good practice against which the design proposal should be evaluated.

The checklist can be used to assess all proposals by objectively answering the questions below. Not all the questions will apply to every development. The relevant ones, however, should provide an assessment as to whether the design proposal has taken into account the context and provided an adequate design solution.

As a first step there are a number of ideas or principles that should be present in all proposals. These are listed under 'General design guidelines for new development'. Following these ideas and principles, a number of questions are listed for more specific topics.

1

General design guidelines for new development:

- Integrate with existing paths, streets, circulation networks and patterns of activity;
- Reinforce or enhance the established settlement character of streets, greens, and other spaces;
- Harmonise and enhance existing settlement in terms of physical form, architecture and land use;
- Relate well to local topography and landscape features, including prominent ridge lines and long-distance views;
- Reflect, respect, and reinforce local architecture and historic distinctiveness;
- Retain and incorporate important existing features into the development;
- Respect surrounding buildings in terms of scale, height, form and massing;
- Adopt contextually appropriate materials and details;
- Provide adequate open space for the development in terms of both quantity and quality;
- Incorporate necessary services and drainage infrastructure without causing unacceptable harm to retained features;
- Ensure all components e.g. buildings, landscapes, access routes, parking and open space are well related to each other;
- Make sufficient provision for sustainable waste management (including facilities for kerbside collection, waste separation, and minimisation where appropriate) without adverse impact on the street scene, the local landscape or the amenities of neighbours;
- Positively integrate energy efficient technologies;
- Positively integrate green infrastructure in accordance with national design guidance to positively contribute to liveability, biodiversity and climate change resilience;
- Ensure that places are designed with management, maintenance and the upkeep of utilities in mind; and
- Seek to implement passive environmental design principles by, firstly, considering how the site layout can optimise beneficial solar gain and reduce energy demands (e.g. insulation), before specification of energy efficient building services and finally incorporate renewable energy sources.

2

Street grid and layout:

- Does it favour accessibility and connectivity? If not, why?
- Do the new points of access and street layout have regard for all users of the development; in particular pedestrians, cyclists and those with disabilities?
- What are the essential characteristics of the existing street pattern; are these reflected in the proposal?
- How will the new design or extension integrate with the existing street arrangement?
- Are the new points of access appropriate in terms of patterns of movement?
- Do the points of access conform to the statutory technical requirements?

3

Local green spaces, views & character:

- What are the particular characteristics of this area which have been taken into account in the design; i.e. what are the landscape qualities of the area?
- Does the proposal maintain or enhance any identified views or views in general?

3

Local green spaces, views & character:

- How does the proposal affect the trees on or adjacent to the site?
- Can trees be used to provide natural shading from unwanted solar gain? i.e. deciduous trees can limit solar gains in summer, while maximising them in winter.
- Has the proposal been considered within its wider physical context?
- Has the impact on the landscape quality of the area been taken into account?
- In rural locations, has the impact of the development on the tranquillity of the area been fully considered?
- How does the proposal impact on existing views which are important to the area and how are these views incorporated in the design?
- How does the proposal impact on existing views which are important to the area and how are these views incorporated in the design?
- Can any new views be created?
- Is there adequate amenity space for the development?
- Does the new development respect and enhance existing amenity space?
- Have opportunities for enhancing existing amenity spaces been explored?

3

Local green spaces, views & character:

- Will any communal amenity space be created? If so, how this will be used by the new owners and how will it be managed?
- Is there opportunity to increase the local area biodiversity?
- Can green space be used for natural flood prevention e.g. permeable landscaping, swales etc.?
- Can water bodies be used to provide evaporative cooling?
- Is there space to consider a ground source heat pump array, either horizontal ground loop or borehole (if excavation is required)?

4

Gateway and access features:

- What is the arrival point, how is it designed?
- Does the proposal maintain or enhance the existing gaps between settlements?
- Does the proposal affect or change the setting of a listed building or listed landscape?
- Is the landscaping to be hard or soft?

5

Buildings layout and grouping:

- What is the typical built pattern of buildings?
- How have the existing groupings been reflected in the proposal?
- Are proposed groups of buildings offering variety and texture to the townscape?
- What effect would the proposal have on the streetscape?
- Does the proposal maintain the character of dwelling clusters stemming from the main road?
- Does the proposal overlook any adjacent properties or gardens? How is this mitigated?
- Subject to topography and the clustering of existing buildings, are new buildings oriented to incorporate passive solar design principles, with, for example, one of the main glazed elevations within 30° due south, whilst also minimising overheating risk?
- Can buildings with complementary energy profiles be clustered together such that a communal low carbon energy source could be used to supply multiple buildings that might require energy at different times of day or night? This is to reduce peak loads. And/or can waste heat from one building be extracted to provide cooling to that building as well as heat to another building?

6

Building line and boundary treatment:

- What are the characteristics of the building line?
- How has the building line been respected in the proposals?
- Has the appropriateness of the boundary treatments been considered in the context of the site?

7

Building heights and roofline:

- What are the characteristics of the roofline?
- Have the proposals paid careful attention to height, form, massing and scale?
- If a higher than average building(s) is proposed, what would be the reason for making the development higher?
- Will the roof structure be capable of supporting a photovoltaic or solar thermal array either now, or in the future?
- Will the inclusion of roof mounted renewable technologies be an issue from a visual or planning perspective? If so, can they be screened from view, being careful not to cause over shading?

8

Household extensions:

- Does the proposed design respect the character of the area and the immediate neighbourhood, and does it have an adverse impact on neighbouring properties in relation to privacy, overbearing or overshadowing impact?
- Is the roof form of the extension appropriate to the original dwelling (considering angle of pitch)?
- Do the proposed materials match those of the existing dwelling?
- In case of side extensions, does it retain important gaps within the street scene and avoid a 'terracing effect'?
- Are there any proposed dormer roof extensions set within the roof slope?
- Does the proposed extension respond to the existing pattern of window and door openings?
- Is the side extension set back from the front of the house?
- Does the extension offer the opportunity to retrofit energy efficiency measures to the existing building?
- Can any materials be re-used in situ to reduce waste and embodied carbon?

9

Building materials & surface treatment:

- What is the distinctive material in the area?
- Does the proposed material harmonise with the local materials?
- Does the proposal use high-quality materials?
- Have the details of the windows, doors, eaves and roof details been addressed in the context of the overall design?
- Does the new proposed materials respect or enhance the existing area or adversely change its character?
- Are recycled materials, or those with high recycled content proposed?
- Has the embodied carbon of the materials been considered and are there options which can reduce the embodied carbon of the design? For example, wood structures and concrete alternatives.
- Can the proposed materials be locally and/or responsibly sourced? E.g. FSC timber, or certified under BES 6001, ISO 14001 Environmental Management Systems?

10

Car parking:

- What parking solutions have been considered?
- Are the car spaces located and arranged in a way that is not dominant or detrimental to the sense of place?
- Has planting been considered to soften the presence of cars?
- Does the proposed car parking compromise the amenity of adjoining properties?
- Have the needs of wheelchair users been considered?
- Can electric vehicle charging points be provided?
- Can secure cycle storage be provided at an individual building level or through a central/ communal facility where appropriate?
- If covered car ports or cycle storage is included, can it incorporate roof mounted photovoltaic panels or a biodiverse roof in its design?

About AECOM

AECOM is the world's trusted infrastructure consulting firm, delivering professional services throughout the project lifecycle — from planning, design and engineering to program and construction management. On projects spanning transportation, buildings, water, new energy and the environment, our public- and private-sector clients trust us to solve their most complex challenges. Our teams are driven by a common purpose to deliver a better world through our unrivalled technical expertise and innovation, a culture of equity, diversity and inclusion, and a commitment to environmental, social and governance priorities. AECOM is a *Fortune 500* firm and its Professional Services business had revenue of \$13.2 billion in fiscal year 2020. See how we are delivering sustainable legacies for generations to come at aecom.com and [@AECOM](https://www.instagram.com/AECOM).

APPENDIX B – LOCAL HERITAGE ASSETS

The following buildings and structures are not on the Statutory List of Buildings ('listed buildings') but have been identified as having local heritage value in relation to the provisions of Policy FAR6.

The assets have been identified using local knowledge and a variety of sources noted in the schedule and using the criteria established by Historic England for this purpose (and that are also being used by the Buckinghamshire Local Heritage List project).

Source

* = *Farnham Royal Conservation Area Appraisal*

** = *Buckinghamshire Historic Environment Record*

*** = *The Buildings of England: Buckinghamshire (Pevsner & Williamson, 1994)*


Criteria

A = *Architectural and artistic interest*

G = *Group Value*

H = *Historic/Social Interest*

L = *Landmark Status*

Ref no.	Location	Asset Criteria	Special Local Interest
1	Tower Barn Lodge, Egypt Lane, SL2 3LD	A	<p>An international modern style of urban and suburban building in the period 1830 – 1945 from the architects of a progressive practice known as Tecton. The style includes a wide variety of construction yet results in similar stylistic ends including consistent horizontal compositions, asymmetrical but carefully balanced flat roofs and light-colour rendered walls into metal framed windows fit flush. Standard features include verandas, rooftop balconies and staircases on the façade. Source: The Buildings of England: Buckinghamshire (Pevsner & Williamson, 1994, p110)</p> <p>The original building was built 1939c and consisted of a flat timber clad brick base. A full two storey extension and new pitched roof where the flat roof existed (92/00483), as well as a part single storey/part two storey side extension incorporating a double garage (97/00291/FUL) was added in the nineties. Source: http://ukmoho.co.uk/html/building/20636.html</p> <p><i>“Close to Gordonbush House and originally in its grounds, a single-storey house, By (Val) Harding (of Tecton) for his father and one of the last houses he designed before he was killed in World War II. Timber on a brick base, flat-roofed.”</i> Source: The Buildings of England: Buckinghamshire (Pevsner & Williamson, 1994, p323).</p>  <p>Source: https://www.primelocation.com/to-rent/details/photos/62524601/?search_identifier=273f2406215be734d74dbebdf38186bf</p>
2	Gordonbush House (formerly Egypt End), Egypt Lane, SL2 3LD	A	<p><i>“1934-5 by Val Harding of Tecton. This was Harding’s own house and, with Lubetkin’s house at Whipsnade Zoo (see Dagnall), among Tecton’s first designs, sit it is particularly unfortunate that it has been substantially altered. Of reinforced concrete, originally L- now U-shaped (with a later r.wing), against the background of Egypt Woods. The main part is two storeyed and faces south. The short l.arm had originally only one storey, which contained done large living room, and above this a sun-terrace; the terrace has been partly built over and the pierced concrete screen-wall replaced with mass-produced patterned concrete blocks. The s-facing walls are still almost entirely glass, but the original windows have been replaced. An inner staircase slightly bulges to protect the entrance on the subdued west face. As well, there is, up to the sun-terrace, an outer spiral staircase of steel; this may well be termed one of the</i></p>

leitmotifs of the most progressive English architects of the 1930s". Source: The Buildings of England: Buckinghamshire (Pevsner & Williamson, 1994, p323)



"Valentine Harding designed this house for his own occupation while a partner of Tecton. The chosen site was in an area where the local authorities allowed a low minimum height from floor to floor thus permitting the architect to design a low, horizontal building that merged well into its woodland setting." Source: https://www.ribapix.com/Egypt-End-now-Gordonbush-House-Egypt-Lane-Burnham-Beeches-Farnham-Common-Buckinghamshire-the-sliding-doors-from-the-living-room-to-the-verandah_RIBA49387#



HOUSE AT FARNHAM COMMON

9. The kitchen. Access to the kitchen is given through a lobby which, at the same time, is used for a cloakroom and laundry and access to the day nursery. On this lobby is also a w.c. The kitchen is of the minimum size consistent with comfort in working. One wall consists entirely of dresser and cupboards and the other of working table, sink and cooker. Off the kitchen is a small study sitting room with built-in cupboard. The day nursery is designed to be conveniently served from the kitchen and to give easy access to the garden and a loggia. It is an asymmetric drawing of the entrance hall and living room and it is a view of the fireplace in the living room. The chimney flue is extended on both sides and conceals electric lights. The effect is to give lightness instead of solidity to the flue, contrasting with the breadth of the concrete shell. The wall is covered with Japanese grass cloth. The fireplace surround is faced with antique Dutch tiles. The floors of living rooms, stairs and passages are covered with polished cork tiles. 12. shows the entrance hall looking into the living room. On the right is the loss of the stairs. Upstairs, the bedrooms of four built-in cupboards and sliding windows which open on to a balcony. Bedroom floors are covered with linoleum on cork underlay. The walls of the house generally are 4 in. reinforced concrete, the outside walls being lined with 1 in. fibre board placed in the shuttering. The fibre board is painted with one coat and the outside finished with washable distemper. The first floor and roof slabs are also of reinforced concrete, the latter finished with 1 in. cork and asphalt paving. Heating is by a coke-fired boiler with radiators throughout the house, except in the bedrooms, which are heated by portable electric fires. Hot water is provided by electric thermal storage heaters. The good scale inside the house and the greater proportions of moderate-sized rooms were made possible by the local by-laws, which allowed a ceiling height of only 7 ft. 6 in.

AGGREGATE.

WATER.

PROPORTIONS.

FORM WORK.

- 94. The cement shall be stored in such a manner that it will be efficiently protected from moisture and the encumbrances can be used up in the order in which they are received.
- 95. No cement which has become damaged in the storage shall be used in the work, and all lumps must be removed.
- 96. The aggregate shall be composed of hard stone or ballast, free from clay, dirt or other deleterious matter. It shall pass through a 3/4 inch screen and be thoroughly graded from coarse to fine.
- 97. The aggregate shall not be composed of flat or flaky materials.
- 98. Coal residues, such as coke breeze and cinders, shall not be used for reinforced concrete work unless specifically approved in writing by the Architects or Engineers.
- 99. The aggregates to be used are presumed to be of a nature and quality necessary for the production of concrete which will give a crushing strength of not less than 3,000 lbs. at the expiration of three months. When the concrete, made from such materials, is exposed to the weather or has to retain water, the materials shall be of such a nature that the concrete will resist the passage of water. All concrete materials supplied shall be subject to the approval of the Architects or Engineers.
- 100. The water shall be fresh water, clean and free from organic impurities.
- 101. That portion of the aggregate which is retained on a 3/4 inch screen shall be termed "coarse aggregate" and that portion which passes a 3/4 inch screen shall be termed "fine aggregate".
- 102. The 1 : 2 1/2 : 5 concrete shall be composed of 1 part cement, 2 1/2 parts sand and 5 parts coarse aggregate.
- 103. The 1 : 2 : 4 concrete shall be composed of 1 part cement, 2 parts sand and 4 parts coarse aggregate.
- 104. The materials shall be measured in vessels or containers of a nature which make reasonably accurate measurements possible.
- 105. The Contractor may, or shall if called upon, vary the proportion of fine to coarse aggregate with a view to obtaining the densest mix, provided the amount of cement per cubic yard of concrete in position is not reduced.
- 106. Form work must be erected true to line; be properly braced and of sufficient strength to carry the dead weight of the concrete with any constructional loads without excessive deflection.

Source (left): Architectural Review, vol. 78, 1935 Oct., p. 126 https://www.ribapix.com/Egypt-End-now-Gordonbush-House-Egypt-Lane-Burnham-Beeches-Farnham-Common-Buckinghamshire_RIBA30185#
 Source (right): "Valentine Harding designed this house for his own occupation while a partner of Tecton." https://www.ribapix.com/specification-of-works-for-egypt-end-now-gordonbush-house-egypt-lane-burnham-beeches-farnham-common-buckinghamshire_riba127193#



Source

(left): https://www.ribapix.com/egypt-end-now-gordonbush-house-egypt-lane-burnham-beeches-farnham-common-buckinghamshire-garden-view_riba28051#

Source (right): <https://www.bovingdons.com/property-for-sale/4-bedroom-house-for-sale-in-egypt-lane-farnham-common-slough-sl2-628227add72cbcf95f6a1701/>

3	<i>The Old Cottage, Egypt Lane</i>	H	<p>Local knowledge: <i>“The opera singer Joan Hammond who was Australian lived in the cottage, hence the name of Hammond End.”</i></p> <p>The Old Cottage is a 16th century period house with gardens and many later additions. Original features of the period, such as timber-framing, exposed joists, the use of herringbone brick and decorative emphasis on doorways, has been retained on the original building.</p>
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Source: National Library of Scotland 1888-1913 (left) 1937-1961 (middle) 1949-1972 (right)



Source:

<https://www.hamptons.co.uk/properties/16136105/sales/GDX220166#/>

4	Gypsy Cottage West and Gypsy Cottage East, Dukes Drive	A, G	See mapping above. Early mapping shows buildings in this location.
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			 <p><i>“Egypt is described in the Victoria County History as a few cottages dating from the 17th century. It is said that the name originates from gypsies who once lived in the woods some 500 years ago. Apparently the first gypsies who came to Britain in the 16th century were known as ‘Dukes of Little Egypt’ and so the hamlet became known as Little Egypt or simply Egypt.”</i> Source: Buckinghamshire Archives</p> <p>Local knowledge: <i>“The Gypsy Cottages on Dukes Drive are some of the oldest homes in Farnham Common and were once workers cottages for Burnham Beeches.”</i></p> <p>Whilst there have been many additions to this pair of semi-detached homes the linear plan building and chimney stacks for example remain.</p>
5	<p><i>Chapel Cottage, Rose Tree Cottage, Cranbourne Cottage, Evelyn Cottage, Glenthorne (formerly Glenthorne Cottage), Lynches, Orchard Villa, Orchard Cottage, Shergill Cottage</i></p>	H, G	<p>Local knowledge: <i>“The properties along with Shergill Cottage (now rebuilt, formerly a farmhouse), a school and chapel along Christmas Lane and Mount Farm formed the small hamlet of Hedgerley Corner and included a chapel, post office (hence the post box), small pub and a shop. Many of the original frontages and features from 1884 remain.”</i></p> <p>Early mapping shows buildings in this location.</p>  <p>Source: National Library of Scotland 1892-1914</p>

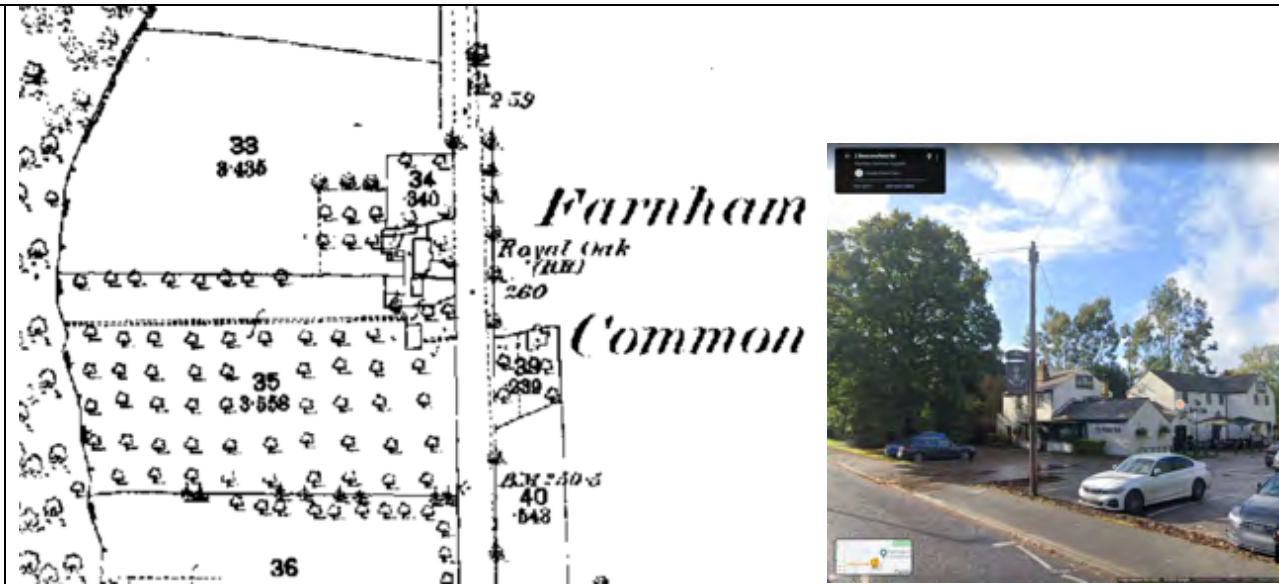


5 & 6	Mount Farm & House, Mayflower Way	H, A	<p>See mapping above.</p> <p>Local knowledge: <i>“The property was built on the land of the farm on which the original house is still standing”</i>. Early mapping shows Mount house and Plantation in this location.</p> <p>An impressive façade noting use of hipped roof and chimney stacks. Use of yellow brick, painted on some elevations.</p>
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Source: <https://www.winkworth.co.uk/properties/lettings/mayflower-way-farnham-common-sl2/BEA210028>

7	Royal Oak Public House	H	<p>Local knowledge: <i>“One of the oldest buildings in the Parish with some later 20th century additions (99/00718/FUL). Has always had an oak tree growing at the front.”</i></p> <p>Early mapping shows buildings and Royal Oak (P.H.) in this location.</p>
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Source: OS 1st edition (1876 – 1885) Buckinghamshire’s Heritage Portal

8 Woodland Cottages

G, H

Local knowledge: *“Some of the oldest cottages in the Parish with long rear gardens.”*

Early mapping shows buildings in this location



Source: OS 1st edition (1876 – 1885) Buckinghamshire's Heritage Portal



Source: National Library of Scotland 1892-1914

9

St John Evangelist, Victoria Road, Farnham Common, SL2 3NN

A, H

“1907 by C.Ford Whitcombe. Red brick with one-light Perp windows and slanting buttresses. Chancel, nave, N aisle. NW tower unbuilt. Extended E and N porch added in 1924 by G.H. Fellowes Prynne. Stained glass by Kempe & Co., chancel s, undated. – By A.L.Moore, anctuary N 1908. – By Comper, nave centre 194-, and E.” Source: The Buildings of England: Buckinghamshire (Pevsner & Williamson, 1994, p322)



c.1965

MEDIA INFORMATION X >

Signed George H. Fellowes Prynne, Architect

COLLECTION NAME:

Incorporated Church Building Society (ICBS)

Record ▾

Identifier:

ICBS11578

Title:

FARNHAM COMMON, St. John the Evangelist.

Creator:

PRYNNE, George Halford Fellowes: b. 1853 - d. 1927 of London

Description:

groundplan

Contributor:

Signed George H. Fellowes Prynne, Architect

Date:

1924-1925

Source:

ICBS 11578

Relation:

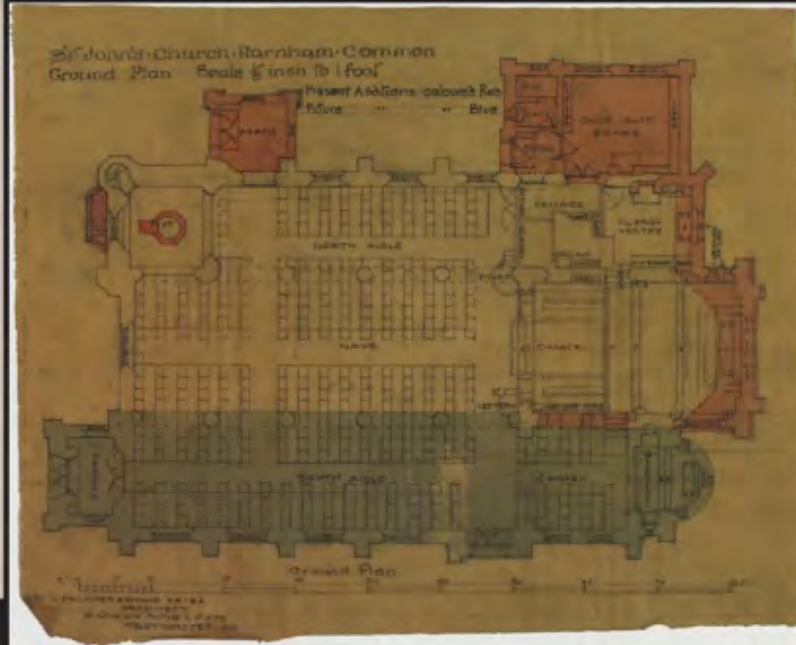
Originally published online as part of the Church Plans Online project. For full description, see the archives catalogue

Coverage:

Farnham Common, Buckinghamshire

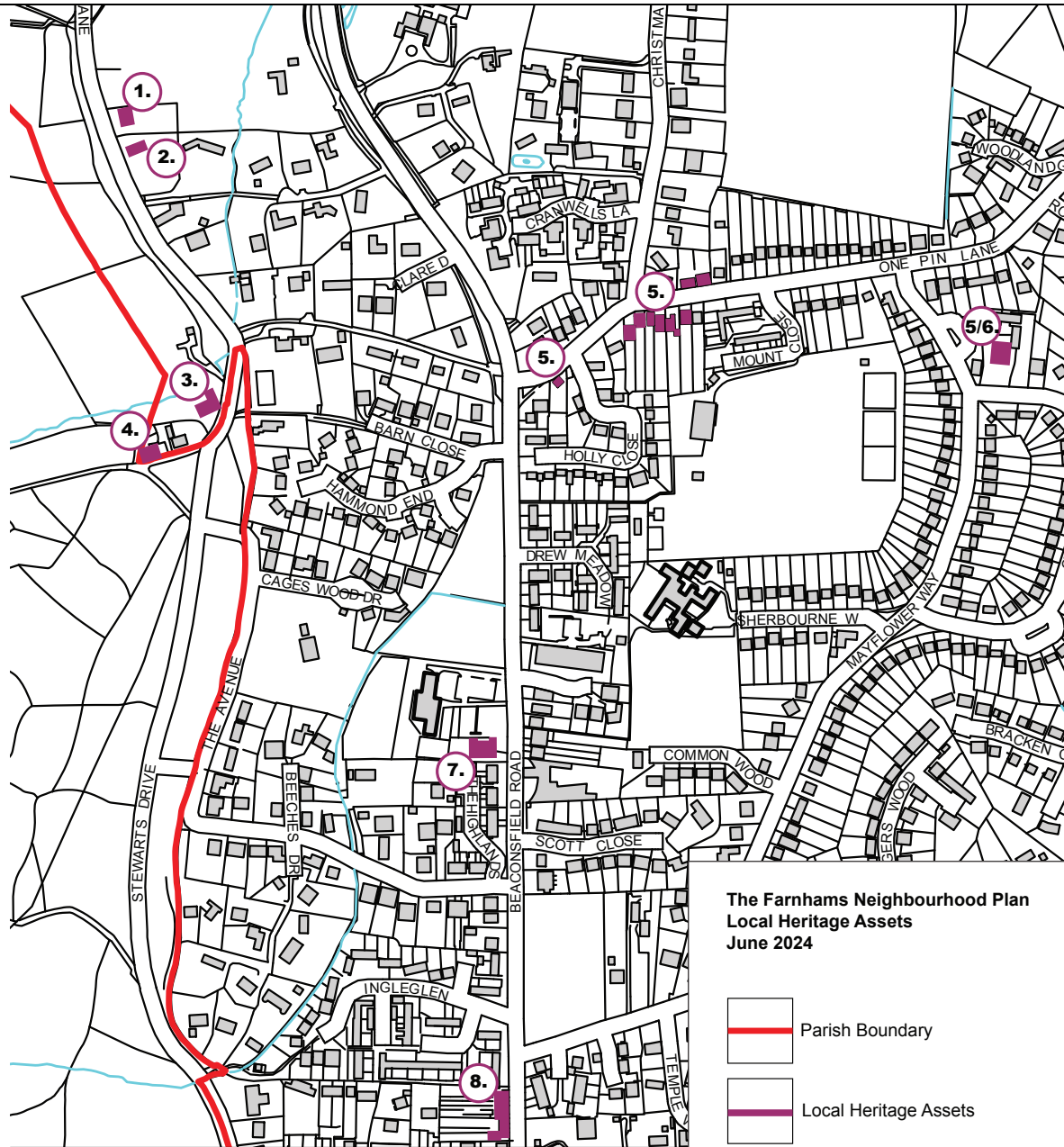
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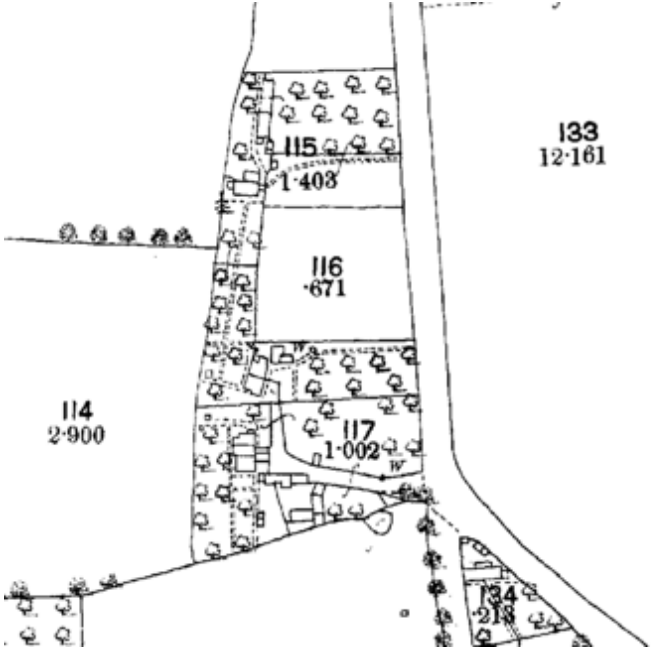

Source: ICBS (1817-1989) Incorporated Church Building Society Archive

<https://images.lambethpalacelibrary.org.uk/luna/servlet/detail/LPLIBLPL~34~34~160952~121946>



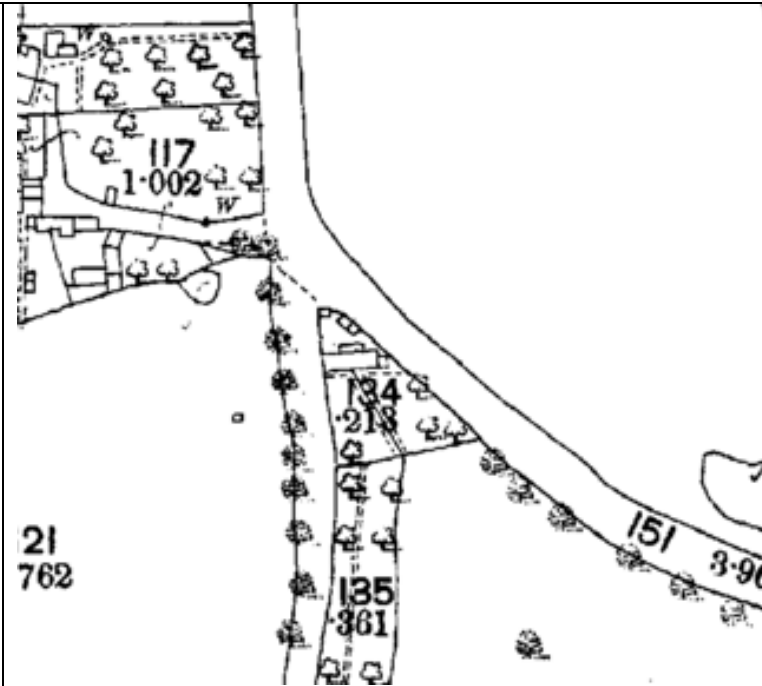
**The Farnhams Neighbourhood Plan
Local Heritage Assets
June 2024**

-  Parish Boundary
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10	Vine Cottage, Parsonage Lane at Vine Gate	H	<p>Local knowledge: “Vine Cottage is one of the oldest houses in the village and should be listed. More modern houses have been built in the grounds now known as Vine Gate.”</p> <p>Early mapping shows building in this location.</p>   <p>Source (left): OS 1st edition (1876 – 1885) Buckinghamshire’s Heritage Portal</p>
11	Nos. 1 – 4 Budleigh Cottages, Parsonage Lane	H, A	A row of Victorian villas, image shows 21 st century addition to the left.



12	Flintwall Farm building and boundary wall	H, A	Local knowledge: <i>“In the junction of Purton Lane and Parsonage Lane. This was originally two cottages. The Rodgers used to make car mascots out of metal. There was also a laundry in the garden which did washing for the local houses. This building should be listed because of the various old ways of the structure.”</i>
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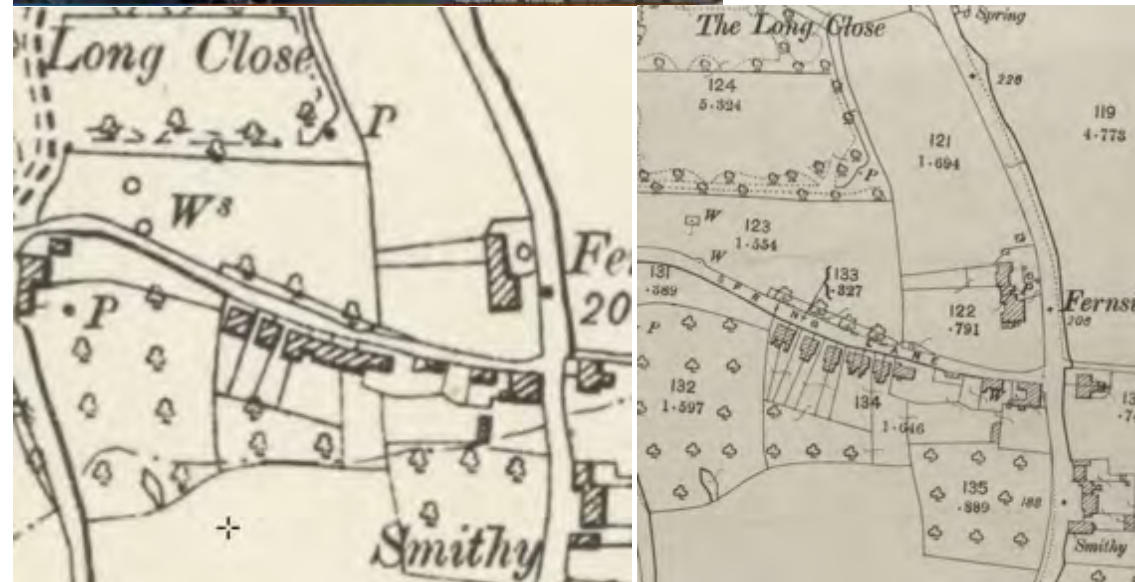


Source: OS 1st edition (1876 – 1885) Buckinghamshire's Heritage Portal

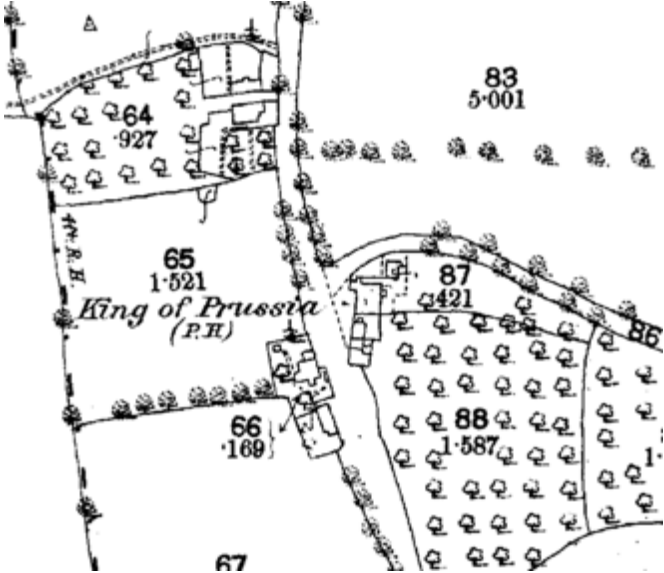

Despite various editions over the 20th century to the property the 1.5-metre-high flint knapped coursed wall, including buttresses, running along the boundary of the property has largely been retained. In some places the flint has been replaced with brick. Buildings have continued the original use of plain tile for roofing materials and brickwork for facing materials. Diamond brickwork pattern with flint panels has been reflected on later additions to the property, including the late 20th century garage.

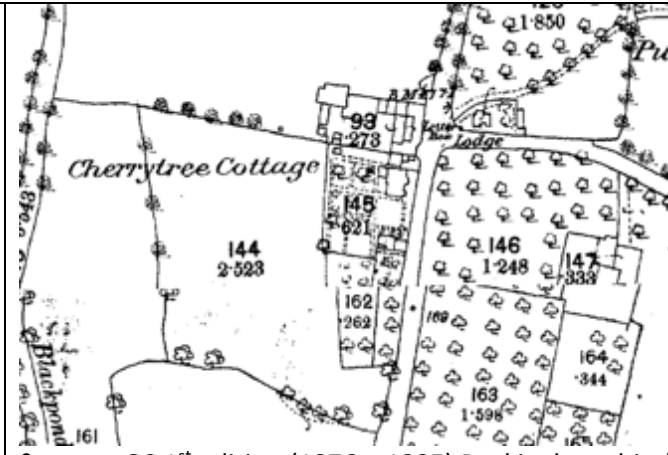
			
13	<p><i>Nos.1-2 Beaconsfield Villa, St Leonards and Fercot, Blackpond Lane</i></p>	H, A, G	<p>See mapping above. Period semi-detached villas. Whilst some later extensions the façade visible from Blackpond Lane remains pleasant and preserved noting use gable roofs, with slate and chimney stacks. Use of yellow brick with decorative darker brick patterns on frontages and window (sash) arches.</p> 

14	<i>Hemmingford, Spring Lane:</i>	H	<p>See mapping above. Possibly dates from 16th century.</p> 
15	<i>Nos 1 – 9 Spring Lane</i>	G, A	<p>Early mapping shows buildings in this location. Terrace of cottages as buildings of interest noting use of hipped and gable roofs, with slate and chimney stacks. Use of yellow brick with decorative darker brick patterns on frontages and window (sash) arches. Corbelling at eaves visible at nos. 1-2.</p>



Source (left): National Library of Scotland 1888-1913

			Source (right): National Library of Scotland 1892-1914
16	<i>The Emperor</i>	H, A	<p>Previously King of Russia, very old building of interest.</p> <p><i>“If you're interested in the history of pub names, this one is fascinating. It goes back 300 years and was once called the Brickmakers Arms.</i></p> <p><i>At the end of the 19th century this was changed to The King of Prussia. But who wants the name of the enemy when the country is going through World War I?</i></p> <p><i>So in 1917, by special royal permission, it became The Emperor of India (then George V).</i></p> <p><i>So many people mistake it for an Indian restaurant that Jane now plans to change the name to The Emperor at Farnham Royal.”</i></p> <p>Source: https://www.bucksfreepress.co.uk/news/5184136.the-emperor-of-india-farnham-common/</p> <p>The existing walls of the building is of white painted brick to the front and aides, the main roof is a hipped roof with plain tiles and bonnet hips, The rear roof uses slates. Windows are timber white with black frames.</p>   <p>Source : OS 1st edition (1876 – 1885) Buckinghamshire’s Heritage Portal</p>
17	<i>Nos 1-2 Cherry Tree Cottage, A355</i>	H, A	<p>Early mapping shows buildings in this location. Buildings of interest noting gable roof with three gable roof dormers using plain clay tiles as roofing materials and pattern crested ridge tiles. Half timbering and bullnose tile hanging also remains visible.</p>



Source: OS 1st edition (1876 – 1885) Buckinghamshire’s Heritage Portal



18	Nos 1 -2 Farnham Park Lodge, A355	H, A	<p>Local knowledge: “Lodge dwellings that served staff at Farnham Park.”</p> <p>Early mapping shows buildings in this location. One of the few remaining examples of “...tile-hanging becomes cliches in design of suburban house from 1880s onwards”. The Buildings of England: Buckinghamshire (Pevsner & Williamson, 1994, p95-p96). One crown cornice under an upper floor window remains and alternate corbelling along the base of the ornamental bullnose tile hanging. This same frontage uses red brick (with some vitrified headers) and the interesting varied roofscape with chimney stacks uses plain clay tiles typical of the local vernacular. The building</p>
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frontage and roofscape is visible from the A355 travelling towards Farnham Royal adding interest to the verdant character of the road frontage.



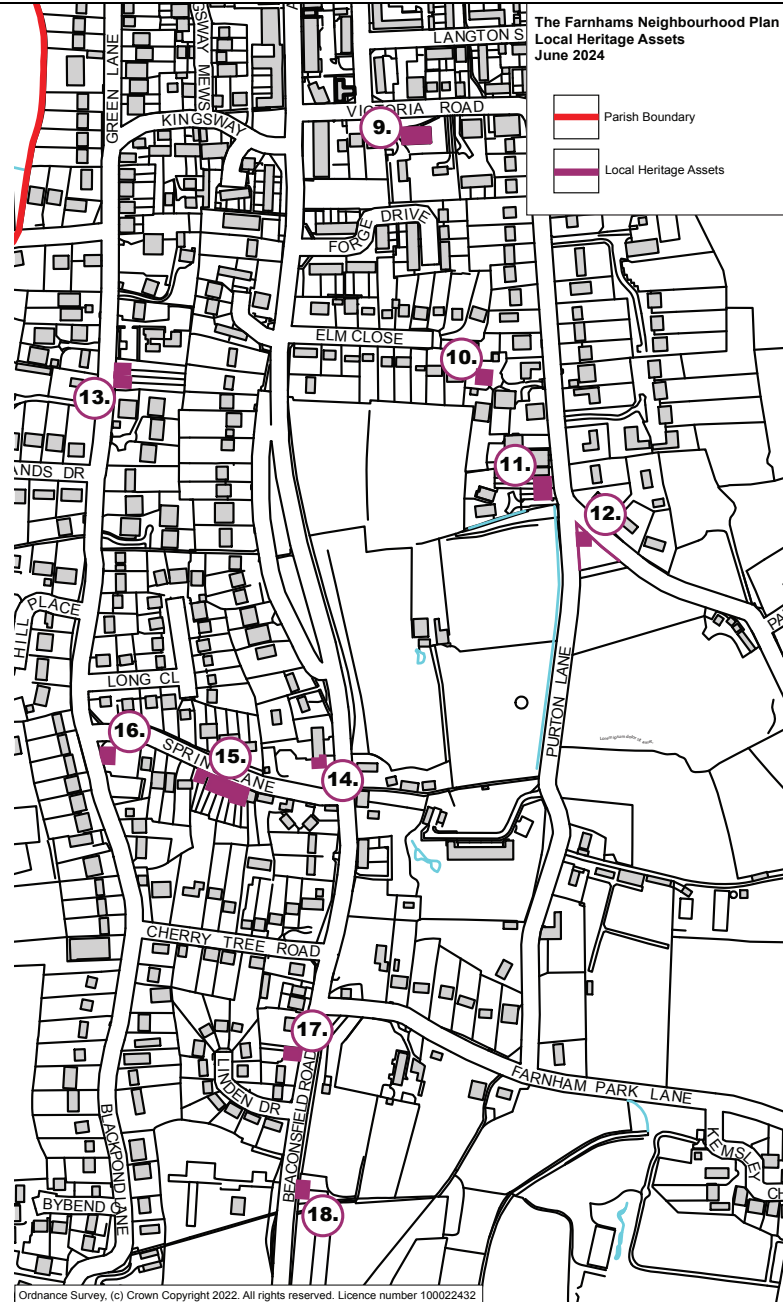
Source (left): National Library of Scotland 1888-1913

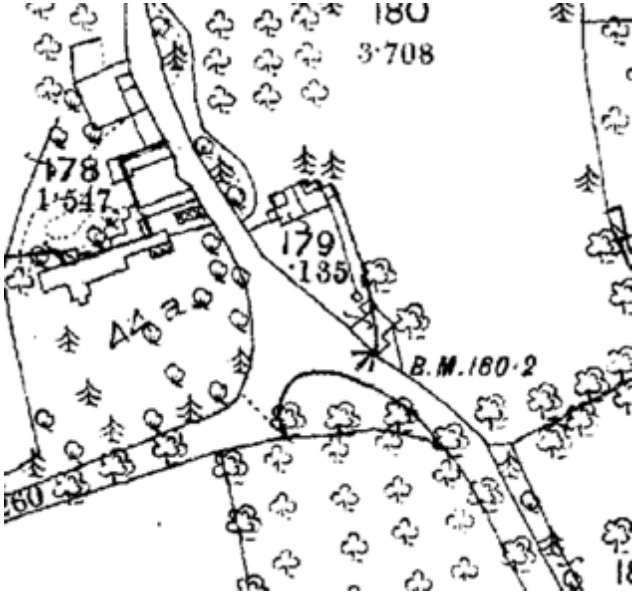
Source (right): National Library of Scotland 1892-1914



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19	<p><i>Flint Cottage at the junction of Farnham Lane and Blackpond Lane</i></p>	H, A	<p>Local knowledge: <i>“Was built at the end of 1970s with flints left over from the construction of the Tower of St Mary’s Church. As you go right into Blackpond Lane there is a small cul de sac called Goose Green named after the village pond, which was located at the junction by Flint Cottage on the site of now new homes.”</i></p> <p>Early mapping shows a property in this location and there is no planning history recorded for the property. The large chimney stack on the eastern elevation, hipped roof and patterned brickwork with flint panels on the frontage façade of the property seems typical of historical vernacular buildings and its position occupies a prominent location in the streetscene on Farnham Lane towards the A355.</p>  <p>Source: OS 1st edition (1876 – 1885) Buckinghamshire’s Heritage Portal</p>
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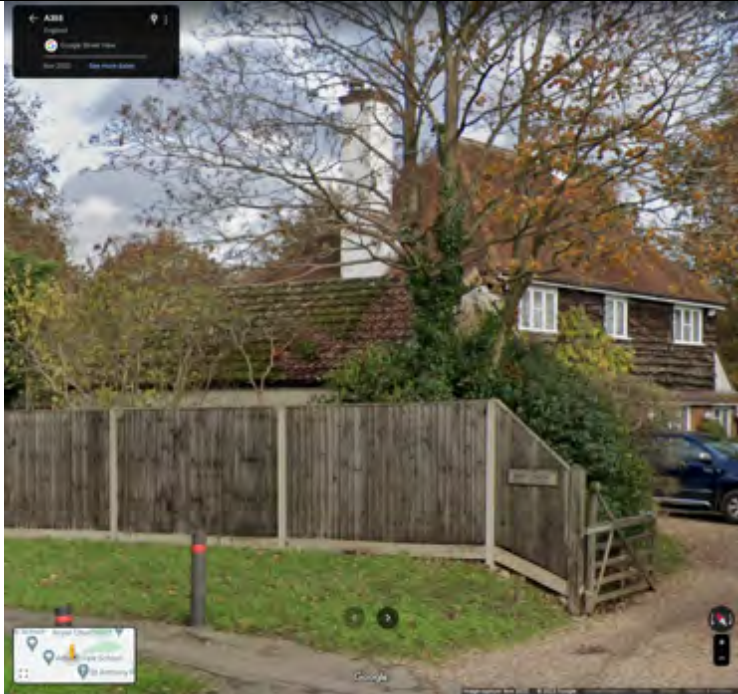
			
20	Wyvenhoe, Farnham Road, Farnham Royal	H, A	<p><i>“The two 1930s detached houses on Farnham Road, are typical of their period influenced by the Arts and Crafts style and appropriate for their location on the main road. Their different alignment has already been noted. The Gate has been sympathetically extended; its walls are roughcast. The chimneys and hipped plain clay-tiled roof of Wyvenhoe (photographed on page 17) are features of the streetscape of Farnham Road, glimpsed over the hedge. Both buildings have a neutral effect on the conservation area.”</i> Source: Farnham Royal Conservation Area Character Appraisal 2010</p>

There are no regular street-rhythms. Roads and paths are generally not straight. The relatively straight path from Farnham Road to the church reflects the historic field-boundary established on old enclosures completed before the parliamentary enclosure in 1831. Buildings are few in number and are arranged and aligned irregularly. Even the 1930s houses, the Gate and Wyvenhoe, are differently aligned, with the latter end-on to the road. This irregularity helps to reinforce the village feel and semi-rural character and appearance.

Many buildings in the conservation area are tucked away and can only be glimpsed from the public realm. Wyvenhoe is end-on to the road, unlike its neighbour The Gate. Hedges and trees, a simple 5-bar gate, gravel drive and waney-edge timber cladding give a rustic appearance to an otherwise suburban house. ►



Source: Farnham Royal Conservation Area Character Appraisal 2010


			 An aerial photograph from Google Maps showing a residential property. In the foreground, there is a grassy area with a wooden fence and a gate. A small sign is visible on the ground near the gate. In the background, a two-story house with a dark roof and white window frames is partially obscured by trees. A blue car is parked on a driveway to the right. The sky is overcast.
21	<i>The Gate, Farnham Road, Farnham Royal</i>	H, A	As above.




22	Penns Folly, Church Road	H	<p><i>“Cul de sac here formally one of the gated entrances to Stoke Park for carriages and Penns Folly. Farnham Lodge was a gatekeepers dwelling. In the 1960s the orchard land was bought and 12 houses built, and it was named St Mary’s Close cul de sac, now just classed as part of Church Road. The original turning point for the carriages was in the grounds of Penns Folly and earlier land maps show this. Discreet guests and servants would use this entrance to go up to Stoke Park. Penns Folly also gave some of the orchard land to St Mary’s School to create a playing field. It’s also sold some of its garden so that the house named Fantasia design and built and lived in by noted architect Mr Alan Travis of Slough.”</i> Source: Farnham Royal Conservation Area Character Appraisal 2010</p>
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Source: National Library of Scotland 1892-1914

				
23	<i>Fantasia, Church Road</i>	H	As above.	

				
24	<i>Farnham Lodge, Church Road</i>	H	As above.	

			
25	<p>Former farm building at Farnham Court, Church Road, Farnham Royal</p>	H, A, G	<p><i>“Eighteenth century farm buildings at Court Farm. This long single-storey building can only be glimpsed from the road. The brickwork is attractive with some vitrified headers and a modillion cornice. Evidence of blocked openings visible from the road. (B1) this is a significant building/building of note within the conservation area.”</i></p> <p>Source: https://heritageportal.buckinghamshire.gov.uk/Monument/MBC33008</p> <p><i>“The factors which give Farnham royal its special interest can be summarised as follows:</i></p> <ul style="list-style-type: none"> • <i>Survival of important historic buildings, namely the parish church of St. Mary’s and Farnham Court and its associated historic farm buildings.</i> • <i>Historic manorial connections and survival of a substantial part of the manorial complex. Farnham Court was the manor farm for the manor of Farnham Royal and the site for the manorial court. Although converted to residential use several historic farm buildings have survived.”</i> <p>Source: Farnham Royal Conservation Area Character Appraisal 2010</p>



Ordnance Survey - second edition 1899 25-inch map. (reproduced by kind permission of the Centre for Bucks Studies)

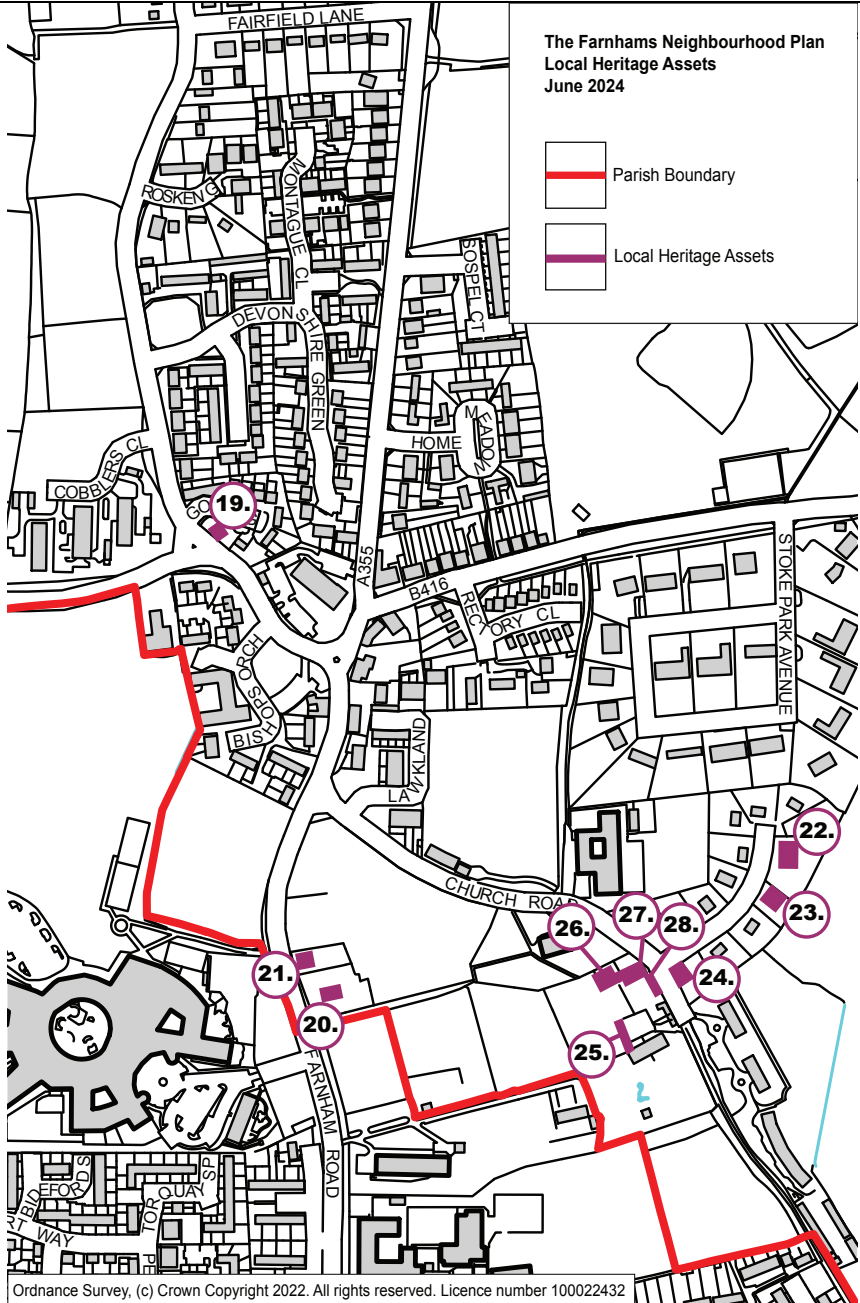
26	Farnham Court, Church Road, Farnham Royal	H, A, G	<p>See also above. "Seventeenth century farmhouse at Court Farm, formerly used as the manorial court. MANOR FARM (17th Century - 1600 AD? to 1699 AD?) LAW COURT (17th Century to 18th Century - 1600 AD to 1799 AD) FARMHOUSE (17th Century to 19th Century - 1600 AD to 1899 AD) The former manorial farm complex is a group of vernacular buildings. Surviving leases from the 17th and 18th century reserved the right to hold the manorial court in the farmhouse. Farnham Court itself is said to have 17th century origins, with alterations from the 18th and 19th centuries. The large lateral chimney stack on the western elevation</p>
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			<p>was taken down following war damage, presumably after a bomb fell in the churchyard in October 1941. The multiple roofs make an interesting outline. (B1) this is a significant building/building of note within the conservation area.”</p> <p>Source: https://heritageportal.buckinghamshire.gov.uk/Monument/MBC32990</p> <p>“The unlisted status of Farnham Court is perhaps surprising in view of its early origins and manorial connections. At the least it may be suitable for listing for its group value with the parish church and listed barn; a reconsideration of this building as part of the next county-wide listing-survey would be desirable...The 1910 Valuation Survey showed a more crowded farmyard. At that time Old Place was described as a brick and tiled stable for 16 plus loosebox. Old Cottage had the same name but its 3 rooms were then being used for storage.</p> <p>The materials of this complex of buildings are typical of the local vernacular; red brick (with some vitrified headers) and plain clay tiled roofs with black weatherboarding on farm buildings. Old Cottage has been covered in roughcast and painted white. In the 1910 survey it was described as brick and tile. Whilst the present treatment may look more picturesque the building has thereby lost some of its traditional character. Residents report that windows on its eastern side have been blocked-up. The long, low red and grey brick building aligned north-south adjoining the rear of West Barn still belongs to Farnham Court. The 1910 survey shows it was then subdivided into a coach-house, stable, granary and calf-house.</p> <p>The single-storey L-shaped outbuilding south of Old Cottage next to the road was a cowhouse and calf-pen in 1910 (see photograph on page 17). It is much-altered and so has not been identified as an Unlisted Positive Building. However it does contribute to the streetscene as mentioned on page 17 and exhibits positive features in its scale, location and alignment, in its use of traditional materials (brick and plain-clay tiles) and detailing (burnt header bricks and modillion cornice.)</p> <p>The Farnham Court farm complex has important heritage values. A study of the standing buildings and their relationship with each other could still provide historical evidence, notwithstanding conversion. The historic association with the manor is also significant. There are other more unusual associations. Old Place was used for religious services whilst the church was being rebuilt in the 1860s. It is said that attendance figures rose to a new high! Some church pews were broken up and used to line the walls. Straw was stuffed into the gap between pew and board cladding as an early form of thermal insulation.”</p> <p>Source: Farnham Royal Conservation Area Character Appraisal 2010</p>
27	Old Place (former stable block at Farnham Court), Church Road, Farnham Royal	H, A, G	<p>See also above. “Former stable block at Court Farm, now a house.</p> <p>STABLE (17th Century - 1600 AD? to 1699 AD?)</p> <p>HOUSE (20th Century - 1900 AD to 1999 AD)</p> <p>Converted stable block, attached to Farnham Court by a low link building which is probably a later addition. One storey with attic and with hipped dormers, it has a large chimney stack on east elevation. Built of brick and weatherboard with a plain clay tiled roof. (B1) this is a significant building/building of note within the conservation area.”</p> <p>Source: https://heritageportal.buckinghamshire.gov.uk/Monument/MBC32992</p>
28	Old ‘Place’ Cottage (former	H, A, G	<p>“Former farm building at Court Farm, possibly a dairy or cow house, now a house.</p> <p>FARM LABOURERS COTTAGE? (20th Century - 1900 AD? to 1999 AD)</p>

	<p><i>farm building at Farnham Court), Church Road, Farnham Royal</i></p>	<p><i>DAIRY? (18th Century - 1700 AD? to 1799 AD?) COW HOUSE? (18th Century - 1700 AD? to 1799 AD?)</i></p> <p><i>A single storey cottage with roughcast walls painted white and plain clay tiled roof. The rear wall is right up to the road. The building has the look of a dairy or shippon. The 1910 valuation survey showed that it's three rooms were being used for storage. (B1) this is a significant building/building of note within the conservation area.</i></p> <p>Source: https://heritageportal.buckinghamshire.gov.uk/Monument/MBC33007</p> <p><i>From Michell King: An original threshing barn which was converted into a private dwelling in the 1870s. Was used to hold church services during the rebuilding of St Mary's Church.</i></p>
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APPENDIX C – THE FARNHAMS COMMUNITY FACILITIES AND PUBS

Ref no.	Location	Supporting Text	Photographs
Farnham Royal			
1.	St Mary's, Farnham Royal, Church Road	There are three churches in the Farnham's, St Mary's Farnham Royal, St Johns, and the Living World International Church Farnham Common all being open to worshippers on Sundays and on certain days during the week	

2.	St Mary's Farnham Royal Church of England Primary School, Church Road	The Parish contains St Mary's Royal Church of England Farnham Royal and Farnham Common Infant & Junior Schools. In addition, there are two nurseries at the village hall in Farnham Royal and the Brian Jubb Hall (adjacent to St Johns Church in Farnham Common)	
3.	Dair House School, Beaconsfield Road	Dair House School is a co-educational, independent prep school and Caldicott is an outstanding independent day and boarding prep school for boys aged seven to thirteen both situated in Farnham Royal	

4.	Caldicott Preparatory School, Crown Lane		 A gravel driveway leads through a black metal gate towards a large, multi-story building with a prominent tower, likely a school, situated behind a green lawn and trees under a cloudy sky.
5.	Dukes Head Public House, Beaconsfield Road	The Emperor and Dukes Head in Farnham Royal are well supported by the local community and visitors from North Slough	 A public house with a prominent thatched roof and a stone well in the foreground. The building is a mix of brick and light-colored walls. Several cars are parked in the foreground on a gravel area.

6.	The Emperor Public House, Blackpond Lane		 A photograph of The Emperor Public House, a traditional British pub with a dark tiled roof and two chimneys. The building is situated behind a gravel parking area with several picnic tables and colorful umbrellas (blue, pink, and green). A paved road with a white dashed line runs in the foreground. The sky is overcast with grey clouds.
7.	Farnham Royal Cricket Club, Church Road	<p>Farnham Royal Cricket Club is located between Slough and Farnham Common on the A355. A friendly, established village club running a number of both adult and colts' team. The Clubhouse is open all year round for members and guests and has a great social calendar throughout the year. There are also successful darts and crib teams.</p>	 A photograph of a blue wrought-iron gate with a decorative arch. The gate is set against a background of a grassy field and trees. The letters 'F R C C' are visible on the gate in a yellowish-gold color.

8.	Farnham Royal Men's Club, Farnham Lane	The hall can be hired and is ideal for birthday parties, children's parties, wedding receptions, presentations, Company meetings, classes, and fitness groups. Also, theatre groups are welcome. It can accommodate one hundred and twenty people sitting, or two hundred standing.	
8.	Farnham Royal Village Hall, Farnham Lane	The hall can be hired and is ideal for birthday parties, children's parties, wedding receptions, presentations, Company meetings, classes, and fitness groups. Also, theatre groups are welcome. It can accommodate one hundred and twenty people sitting, or two hundred standing. The car park has fifty spaces, but it is shared with the social club so sometimes the capacity is less. Unfortunately, this Hall fairs less well than its Farnham Common counterpart.	
9.	Farnham Park National Baseball & Softball Complex, Beaconsfield Road	Farnham Park Sports Field is managed by a charity which enables Clubs and Individuals to let the facilities such as Farnham Royal Rugby Football Club, Unity Martial Arts and Baseball Softball UK. There is a total of six adult size football pitches, two youth pitches, two junior nine pitches, and two small training pitches all available to hire weekly or on a one-off basis. Over recent years there has been a significant decline in income and the facilities are extremely poor and run down but this resource could offer significant income potential and social benefits to the villages	

9.

**Farnham Park
Playing Fields,
Beaconsfield Road**

and surrounding areas as a centre of the village by developing the site into combined Sports, Health, and Wellbeing centre. It also operates the Farnham Park Golf Course on a pay for play and membership basis



9.	Unity Martial Arts Academy & Fitness Centre, Farnham Park Playing Field		
10.	Chandos Lodge Nursing Home, Blackpond Lane		

Farnham Common

11.

**St Johns Church,
Victoria Road**


There are three churches in the Farnham's, St Mary's Farnham Royal, St Johns, and the Living World International Church Farnham Common all being open to worshippers on Sundays and on certain days during the week.



12.

**Living World
International
Church, The
Broadway,
Beaconsfield Road**





13.	Farnham Common Infant School, Beaconsfield Road	The Parish contains St Mary's Royal Church of England Farnham Royal and Farnham Common Infant & Junior Schools. In addition, there are two nurseries at the village hall in Farnham Royal and the Brian Jubb Hall (adjacent to St Johns Church in Farnham Common).	 A photograph showing a red sign with white text on two wooden posts. The sign is located in a grassy area next to a paved parking lot. In the background, there are trees and a building. The sky is overcast.
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14. Farnham Common Junior School,
Sherbourne Walk



15.	The Victoria Public House, Victoria Road	The Victoria, The Foresters, Stag & Hounds and Royal Oak all in Farnham Common share a mixed but loyal trade which is the older demographic from residents in both Farnham Common and Farnham Royal. The Victoria's trade tends to be slightly younger working people who visit at the end of the working day and on weekends	 A photograph of The Victoria Public House, a two-story white building with green decorative trim around the windows and a prominent chimney. The name 'THE VICTORIA' is visible on the side of the building. The scene is set on a street with a blue sky and shadows cast on the pavement.
16.	The Foresters Public House, Farnham Common		 A photograph of The Foresters Public House, a large brick building with a gabled roof and multiple chimneys. A white van with a red logo is parked in front of the building. There is a covered outdoor seating area in the foreground. The sky is clear and blue.

17.	The Stag and Hounds Public House, The Broadway, Beaconsfield Road		 A photograph of a large, multi-story brick building with a dark roof and several gables. The building is situated on a street corner. A person is walking on the sidewalk in the foreground, and a car is visible on the road. The sky is overcast with grey clouds.
18.	Royal Oak Public House, Beaconsfield Road		 A photograph of a white, two-story building with a dark roof and a chimney. The building is situated on a street corner. The name 'The Royal Oak' is visible on the side of the building. There are trees and a clear blue sky in the background.

19.

Farnham Common Village Hall, Victoria Road

Farnham Common Village Hall is just a short walk from the main road and shops. The Village Hall was originally constructed as a reading room in 1889. The main hall was added in 1946 and further extensions were made in 1957. Trustee volunteers are responsible for decisions about the day-to-day operation of the hall, investment, and the future of the Hall



20.	<p>Farnham Common Community Library, Victoria Road</p>	<p>Farnham Common community library works in partnership with Buckinghamshire Council</p>	
21.	<p>Farnham Common Sports Club, One Pin Lane</p>	<p>Farnham Common Tennis Club has two TigerTurf floodlit courts and four all-weather tennis courts with over members and is situated on the Farnham Common Sports field which is the home of the local minis and juniors Rugby team The Drifters and the Sports Club which is very social and supportive club in Farnham Common, offering a wide range of sports and activities for all ages and abilities. With an active set of members, proud to offer the opportunity to take part and coaching in a range sport at all levels including Cricket, Hockey, Rugby, Squash and Tennis</p>	

21.	Farnham Common Tennis Club, One Pin Lane		
22.	Carling Dental Practise, The Broadway, Beaconsfield Road*	Southmead surgery in Farnham Common is a well-established and the only doctors' surgery in the Farnham's with three full time GPs, a clinical practitioner and nursing team supported by various admin and support roles in total fourteen staff run the practise	

23.	Southmead Doctors Surgery, Blackpond Lane	The Carling Dental Practice in Farnham Common is a long-established family run business. With several established staff members including two dental hygienists, all of whom have been with the practise for many years. NHS and private treatment including teeth whitening.	
24.	Farnham Common House, Care Home, Beaconsfield Road	Farnham Common House Care Home & New Build - Signature Luxury Care Home	

APPENDIX D – POST OCCUPANCY EVALUATION GUIDANCE

This guidance note sets out how Post-Occupancy Evaluation (POE) should be undertaken and is derived from published guidance and best practice.

1. Post-Occupancy Evaluation (POE) is the method of obtaining feedback on a building's energy performance 'in use', to ensure it measures up to the commitments made by the team that designed and built it. It offers significant potential to address the performance gap and occupant satisfaction.
2. Where a monitoring regime to ensure the 'as designed' building performance targets are achieved in practice for all new and refurbished buildings is required, it is important that data is collected robustly, following good practice POE principles. It is therefore recommended that for residential development the POE methodology in section 11.4 of the Home Quality Mark ONE: Technical Manual: England, Scotland & Wales SD239 (2018)58, or as updated, is used as a guide for meeting this requirement. For non-residential buildings the BSRIA Soft Landings and Design for Performance framework (BG 76/2019), or as updated, may be used.
3. Applicants are required to set out in their Energy Statement how their monitoring regime, based on the HQM, BISRIA or similar methodology, will work in practice and be independently verified by a third party. The Energy Statement to be submitted with the planning application.
4. As each new or refurbished building comes into use, the developer must ensure performance monitoring and data collection for all relevant parameters for one whole year is carried out once the building is substantially occupied, in line with good POE practice for residential or non-residential uses. This verification process should entail, after appropriate commissioning has taken place, comparison of the 'as designed' parameters (energy, carbon, air quality and overheating risk) to monitoring data under the same categories, to assess and compare actual performance.
5. In order to account for seasonality, a minimum of 12 months monitoring data is required. On the other hand, to account for actual weather, the modelling results can be adjusted with degree days for the relevant year. A 'performance gap metric', which will compare designed and actual performance (e.g. a percentage difference) for each of the 4 required parameters (energy, carbon, air quality and overheating risk) should be issued at POE stage. This needs to be issued for both the 'central' scenario and the 'lowest acceptable performance /reasonable worst-case scenario' as a minimum, with multiple scenarios considered if at all possible. The process and reporting methodology used for the POE will need to be repeatable, so that performance can be monitored for at least 2 annual space heating cycles.
6. A report will then be required to be submitted to both building owners/occupiers and to Buckinghamshire Council, which states the performance gap metric and identifies any reasons for deviation from predicted energy usage, carbon emissions, indoor air

quality and overheating performance, as well as recommendations for reasonable corrective action that will be taken to reduce or eliminate the performance gap.

7. The submission of the monitoring report to owners/occupiers and the council must be secured by planning condition, to be determined at the time of application based on case-specific factors. The applicant must demonstrate that the reasonable corrective actions committed to in the monitoring report, and subsequently agreed by Buckinghamshire Council, have been implemented through another annual heat cycle before the condition will be discharged.

